

Pickering Village Heritage Conservation District



The Gordon House Hotel. Photo from Town of Ajax Archives, Ajax Public Library, Dated 1908

Part II The Plan

Prepared by Phillip H. Carter Architect and Planner in association with Paul Oberst Architect **November 2013**

User Guide to the Heritage District Plan

The Pickering Village Heritage Conservation District Plan is a comprehensive document of policies and guidelines which have been developed to help ensure the retention and conservation of the District's heritage resources and to guide future development so that it enhances the area's special character.

The following summary guide is provided for quick reference for the benefit of the occasional or first time user of the document.

Information Request

Where to Look

I want to know the **district boundaries** and if my property is listed as a **heritage property**

Review the boundaries in Section 1.4 and building classification information in Section 2.1.

I want information on the **area's history and special characteristics**

Consult the District Study document published under separate cover for the area history. Review Sections 2.0 and 4.0 for heritage characteristics.

I'm planning some **minor work** on my property – do I require a **Heritage Permit**?

Some minor work is exempt from a Heritage Permit – see Section 3.1.2 for a list of exempted work.

I want to undertake **improvements to a heritage building**

Review the policies in Section 4.2 and guidelines in Section 9.2, 9.3

I want to make **changes to a non-heritage building**

Review the policies in Section 4.3 and the guidelines in Section 9.4

I want to build a **new single detached house**

Review the policies in Section 4.4 and guidelines in Section 9.5.2

I want to construct a **new building in the Commercial Area**

Review the policies in Section 4.6 and the guidelines in Section 9.5.3

I want to install **front and rear yard fencing**

Review the policies in Section 4.5.3 and guidelines in Section 9.2.11
9.6.4

I want information on appropriate **landscape treatments**

Review the policies in Section 4.5 and the guidelines in Section 9.7

Definitions: These words, frequently used in the Plan, are defined as follows:

Compatible—that which is well suited; a harmonious relationship; consistent or in-keeping with; without a jarring contrast.

Incompatible—that which is mismatched or unsuited; incapable of coexisting harmoniously.

Complementary—that which is balanced or harmonizing.

Sympathetic—that which is designed in a sensitive or fitting way.

Controversial—a project or design that is not consistent with or compliant with the Heritage District Plan's policies and guidelines, or where the Plan does not address the issue.

Pickering Village Heritage Conservation District Plan

Acknowledgements

The Pickering Village Heritage Conservation District is the culmination of a great deal of interest and effort over many years by local residents, municipal staff, Heritage Ajax, and Council. All had one objective in common - the desire to develop a plan that would help ensure the conservation of Pickering Village's heritage resources and unique character for enjoyment of future generations.

The following are acknowledged and thanked for their contribution to the initiation and development of the Pickering Village Heritage Conservation District:

Heritage Conservation District Community Advisory Committee

Bruce Balsdon – Resident of HCD area
Bob Martindale – Business Owner of HCD area
John Genova – Commercial Property Owner of HCD area
Brian Lampole – Heritage Advisory Committee Representative
Marsha Jones Dooley – Pickering Village Business Improvement Area (BIA) Representative

Members of Heritage Ajax Advisory Committee

Municipal Staff & Council

Christy Chrus, Senior Planner
Kevin Heritage, Policy Planning Co-ordinator
Gary Muller, Manager of Planning
Paul Allore, Director of Planning & Development Services
Councillor Joanne Dies, Ward 3
Councillor Marilyn Crawford, Ward 1
Regional Councillor Shaun Collier, Wards 1 & 2
Brenda Kriz, Records Manager & Archivist
Christie McLardie, Communications Manager

The Residents and Business People of Pickering Village

Who have maintained the Village for generations, and who assisted in the creation of their Heritage Conservation District to ensure its continued preservation.

The Historic Photographs: The character of this document is greatly enhanced by the work of the Town of Ajax Archives and the Ajax Public Library in making available the historic photographs used throughout.

Historical Research: The historical section relied extensively on the book *A Town Called Ajax*, which was invaluable to the project. The work of the Ajax Historical Board, the editor, Archie MacDonald, and all of the authors is greatly appreciated. Our knowledge of more recent events was greatly enhanced by our discussions with many of the residents.

Mapping: Maps were provided by the Town of Ajax, with their various GIS providers.

PICKERING VILLAGE HERITAGE CONSERVATION DISTRICT PLAN

This is one of three documents dealing with the Pickering Village Heritage Conservation District (HCD). The other two documents, published in separate volumes, are the HCD Property Inventory, and the Pickering Village Heritage Conservation District Study.

Table of Contents

User Guide	i
Acknowledgements	ii
Table of Contents	iii

Part A District Overview

1.0 Introduction

1.1	The Heritage Conservation District Concept	2
1.2	Background to the District Plan	3
1.3	The District Documents	5
1.3.1	Unity of the Documents	5
1.4	The District Boundary	6

2.0 Heritage Character and Heritage Statements

2.1	Heritage Resources	7
2.2	Statement of Heritage Value	8
2.3	Statement of Heritage Attributes	8
2.4	Statement of Objectives in Designating the District	8
2.4.1	Overall Objective	8
2.4.2	Objectives for Heritage Buildings	9
2.4.3	Objectives for Non-heritage Buildings	9
2.4.4	Objectives for Landscape/Streetscape	9
2.4.5	Objectives for New Development	9
2.4.6	Objectives for Community Support	9
2.4.7	Objectives for Business/Tourism	9

3.0 Review and Interpretation

3.1	Review of Activities in the District	10
3.1.1	Activities Subject to Review	10
3.1.2	Activities Exempt from Review	10
3.2	Contexts for Interpretation	10

Part B District Policies

4.0 District Policies—Buildings and Sites

4.1	Overview	12
4.2	Heritage Buildings	12
4.2.1	Conservation of Heritage Buildings	13
4.2.2	Alterations and Additions to Heritage Buildings	13
4.2.3	Relocation of Heritage Buildings	14
4.2.4	Demolition of Heritage Buildings	14
4.2.5	Salvage of Historic Building Materials and Features	14
4.2.6	Uses of a Heritage Building	14
4.3	Non-heritage Buildings	15
4.3.1	Additions and Alterations	15
4.3.2	Demolition of Non-Heritage Buildings	15
4.4	New Residential Buildings	15
4.4.1	Design Approach	15
4.5	Landscapes	16
4.5.1	Landscape Treatment	16
4.5.2	Trees and Shrubs	16
4.5.3	Fences	16
4.6	Commercial Area	17
4.6.1	Design Approaches	17
4.6.2	Commercial Signage	18
4.6.3	Commercial Awnings	18
4.6.4	Commercial Patios	18
4.6.5	Commercial Parking Lots	18
4.7	Development on Adjacent Lands	18

5.0 District Policies—Streetscape and Infrastructure

5.1	Overview	19
5.2	Roads, Curbs, and Municipal Services	19
5.3	Sidewalks and Boulevards	20
5.4	Street Furniture and Pedestrian Amenities	20
5.5	Streetlights and Utility Wires	20
5.6	Public Signage	21
5.7	Vegetation	21

6.0 District Policies—Special Areas and Projects

6.1	Public Awareness	22
	6.1.1 Communication	22
	6.1.2 Education	22

7.0 Municipal Policies

7.1	Overview	23
7.2	Recognizing the Heritage District Plan	23
7.3	Land Use in the District	23
7.4	Land Severance and Minor Variances	24
7.5	Site Plan Control	24
7.6	Signage By-law	25
7.7	Demolition Control	25
7.8	Heritage Easements	25
7.9	Tax Measures	26
7.10	Grants and Loans	26
7.11	Tree Preservation	26
7.12	Community Improvement Area	27

Part C Implementing the District

8.0 Implementation

8.1	Overview	29
8.2	Required Permits	29
8.3	Streamlining the Process	30
8.3.1	The Heritage Permit	31
8.3.2	Heritage Permit with Building Permit	33
8.3.3	Heritage Permit with Site Plan Approval	34
8.3.4	Review of Other Development-Related Applications	35
8.4	Resolving Issues and Appeals	36
8.5	Plan Renewal	36
8.5.1	Reviewing Bodies	36
8.5.2	Regular Review	37
8.5.3	Amendments	37
8.6	Enforcement	37
8.7	Public Awareness	37
8.8	Application Checklist	39
8.8.1	Heritage Permit Checklist	39
8.8.2	Heritage Permit with Building Permit Checklist	40
8.8.3	Heritage Permit with Site Plan Review Checklist	41

Part D Design Guidelines

9.0 Guidelines for Buildings and Surroundings

	Overview	43
9.1	Architectural Styles	45
9.1.1	Heritage Styles—Residential Buildings	46
9.1.2	Heritage Styles—Commercial Buildings	53
9.1.3	Heritage Styles—Agricultural Buildings	56
9.1.4	Non-Heritage Styles—Residential Buildings	57

9.2	Heritage Design and Details	60
9.2.1	Introduction	60
9.2.2	Composition	60
9.2.3	Entrances and Doors	62
9.2.4	Windows and Shutters	65
9.2.5	Bay Windows	67
9.2.6	Gable Ends	68
9.2.7	Dormers	69
9.2.8	Porch Design	70
9.2.9	Brickwork	71
9.2.10	Wood Siding	73
9.2.11	Fencing	74
9.3	Existing Heritage Buildings	75
9.3.1	Overview	75
9.3.2	Historical and Technical Research	76
9.3.3	Recording Original Construction	76
9.3.4	Building Maintenance	77
9.3.5	Repair and Restoration	81
9.3.6	Renovations	85
9.3.7	New Additions to Heritage Buildings	86
9.3.8	Outbuildings for Heritage Buildings	88
9.4	Existing Non-Heritage Buildings	89
9.4.1	Design Approaches	89
9.5	New Development	91
9.5.1	Overview	91
9.5.2	Residential Area	92
9.5.3	Commercial Area	96
9.6	Streetscape Work	106
9.6.1	Overview	106
9.6.2	The Residential Streets	107
9.6.3	Commercial Area	108
9.6.4	Area of Special Concern	112

9.7	Landscaping_____	114
9.7.1	Planting_____	114
9.7.2	Warning! Invasive Plant Species_____	115
9.8	Building Materials Checklist_____	116
9.8.1	Heritage Buildings_____	116
9.8.2	Non-Heritage Buildings_____	118

10.0 Sources

10.1	Documents Available for Guidance_____	119
10.2	Bibliography_____	119

Part E Appendices

Appendix A:	Glossary of Architectural Terms_____	123
-------------	--------------------------------------	-----



Part A

District Overview

Kingston Road, showing Murkar Residence. Photograph from the Ajax Archives

1.0 Introduction



The Dunbar Store. Photograph from the Ajax Archives.

1.1 The Heritage Conservation District Concept

A heritage conservation district is a collection of buildings, streets, and open spaces that collectively are of special historical and/or architectural significance to the community. The individual elements of a district must combine in such a way as to present a sense of cohesiveness. A heritage district is a place of special character or association with an integrity of its own that distinguishes it from other areas of the community.

Part V of the *Ontario Heritage Act R.S.O. 1990, C.O. 18* provides for designation of heritage conservation districts. The parameters of this legislation enable municipalities, through study, to define the areas to be designated and to use development guidelines to assist in the regulation of various types of development within heritage conservation districts in order to ensure that the district's character and viability are maintained and/or enhanced.

It is not the purpose of heritage conservation district designation to make the district a static place where change is prohibited. Rather, the purpose is to guide change so that it contributes to the district's architectural and historic character.

1.0 Introduction

1.2 Background to the District Plan

The Town of Ajax is committed to preserving its heritage. The Town recognizes its heritage properties in two ways. It maintains a Heritage Inventory, listing properties of historical interest. In addition, many individual properties are designated under Part IV of the *Ontario Heritage Act*.

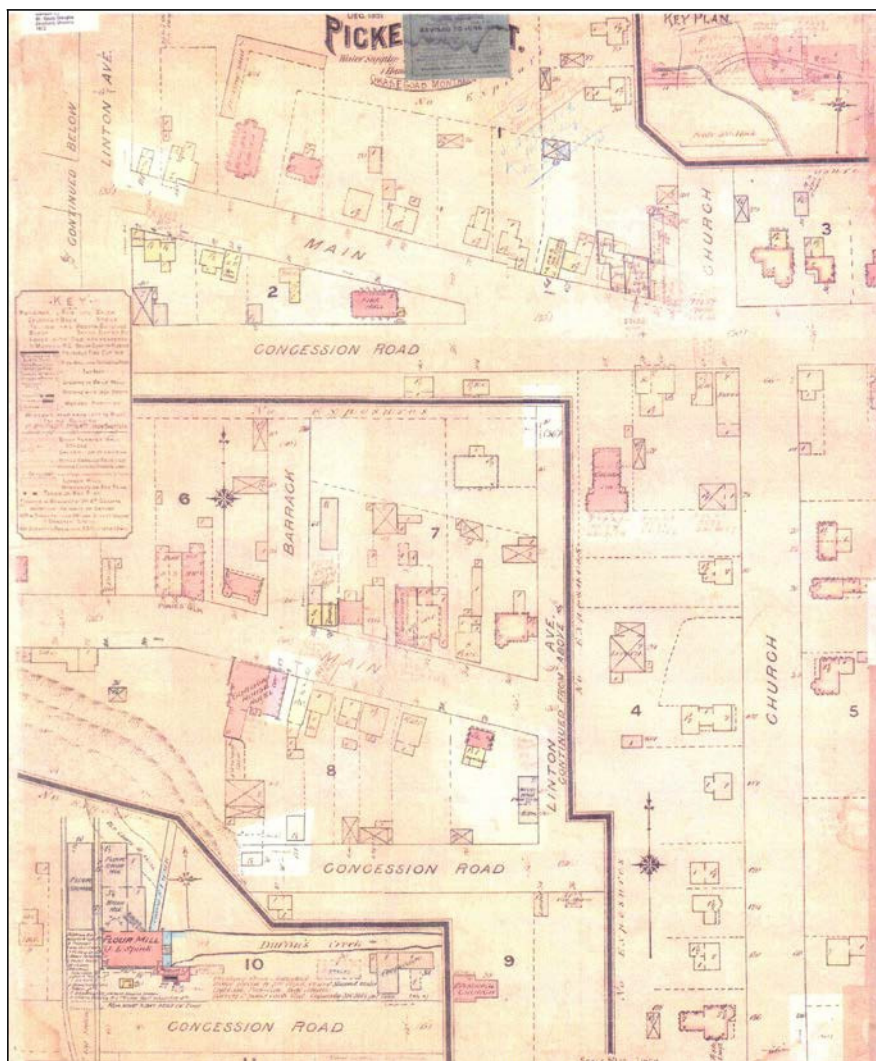
Subsection 41(1) of the *Ontario Heritage Act* requires that prior to designating a heritage conservation district by by-law a municipality must have an Official Plan that contains provisions relating to the establishment of districts. The Act doesn't specify the nature of those provisions, but the Ministry suggests in its Guidelines that reference to the Act and its requirements, and a statement of intent to designate one or more areas be included in the Official Plan.

The Town of Ajax meets the requirements under the Act as stated above. General authority to designate heritage conservation districts is provided in Section 2.6.2.5 of the Town of Ajax Official Plan (By-law 43-2000, as amended). This section includes operational provisions required by Part V of the *Ontario Heritage Act*.



Main Street 1932
Photograph from the Ajax Archives.

1.0 Introduction



Map 1. Fire Insurance Map of Pickering Village, Charles E. Goad, 1900. From the Ajax Archives.

Specific authority for a Pickering Village Heritage Conservation District is found in Section 2.6.2.5.1 of the Ajax Official Plan, quoted below:

2.6.2.5.1 Pickering Village

Pickering Village is an area with significant cultural heritage resources. As such, the Town shall consider preparing a Heritage Conservation District Plan that reviews the heritage character of the area and establishes more detailed planning policies and engineering standards aimed at protecting this unique area of Ajax. Concurrent to the preparation of a Heritage Conservation District Plan, the Town may also prepare a Community Improvement Plan to provide financial programs to assist landowners to implement the Town's planning vision for the area.

If enacted, Pickering Village will be the first Heritage Conservation District in the Town of Ajax.

The Town of Ajax, through various public consultation strategies, has been developing policies, work plans and a vision for Pickering Village over the last five years in order to support the conservation of the community's only historic Main Street. These efforts are outlined in some detail in Section 1 of the Pickering Village Heritage Conservation District Study.

1.0 Introduction

1.3 The District Documents

The Pickering Village Heritage Conservation District Plan is published in three volumes:

1. The Inventory:

- Includes photographs and descriptions of every property in the Study Area.
- Contains historical information and photographs, where available.

2. The Study:

- Describes the history of Pickering Village.
- Examines its physical and cultural heritage character.
- Considers existing development controls.
- Recommends that a Heritage Conservation District is warranted in Pickering Village, and recommends a boundary for the District.
- Contains a Statement of Heritage Value.
- Contains a Statement of Heritage Interest.

3. This Plan:

In compliance with Section 41.1(5) of the *Ontario Heritage Act*:

- Contains the statements of heritage value, heritage attributes and objectives in designating a district.
- Provides District Policies.
- Provides implementation procedures for administering the District.
- Lists classes of minor alterations which are exempt from the heritage permit requirement.
- Provides design guidelines for managing change in the District, as required by the *Ontario Heritage Act*.
- Contains a glossary of architectural terms relating to heritage architecture.

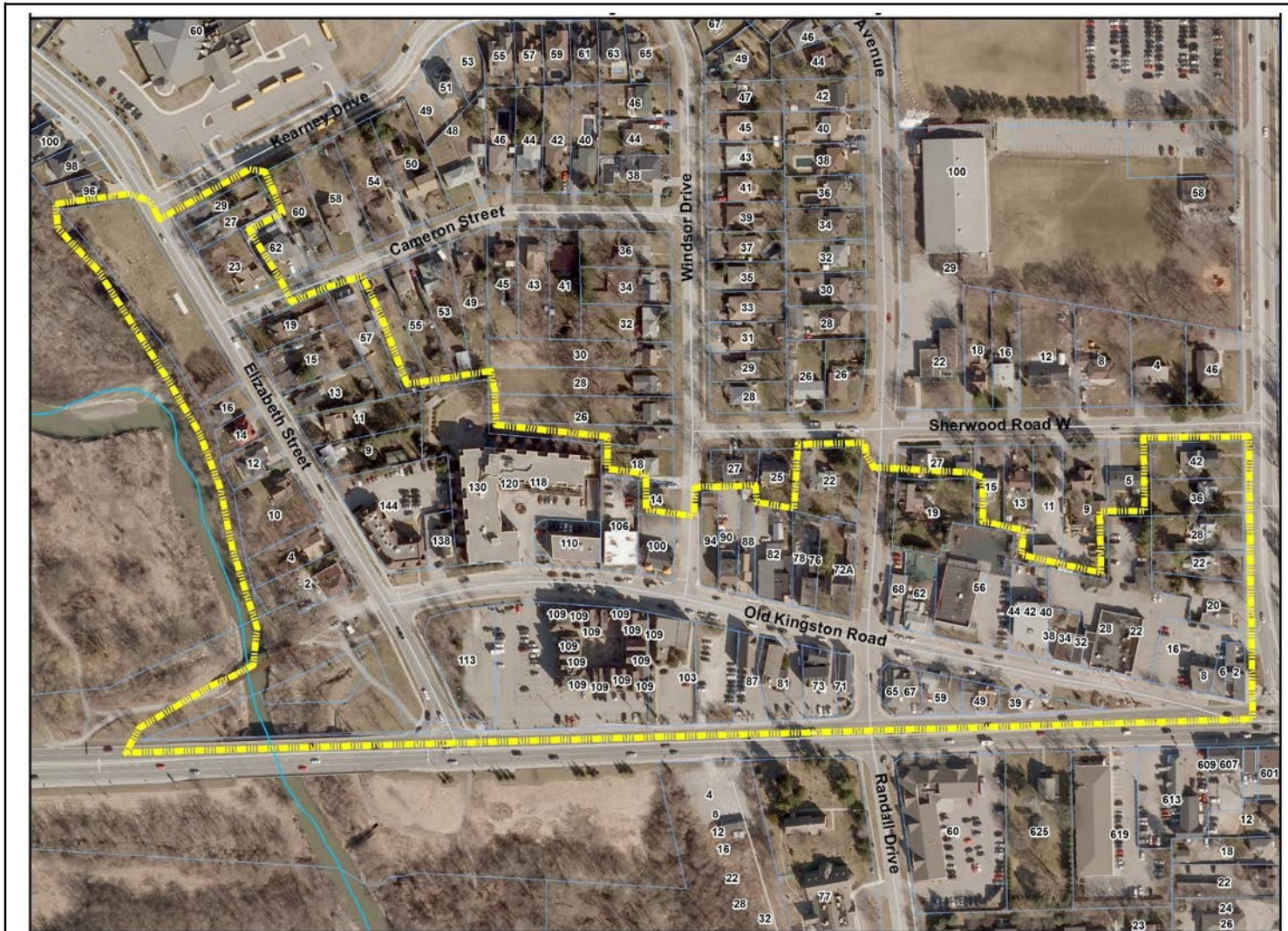
1.3.1 Unity of the Documents

These documents are complementary, and they are to be considered as a whole in interpreting the Plan

1.0 Introduction

1.4 The District Boundary

The Heritage District boundary, recommended by the Study is shown in the map below.

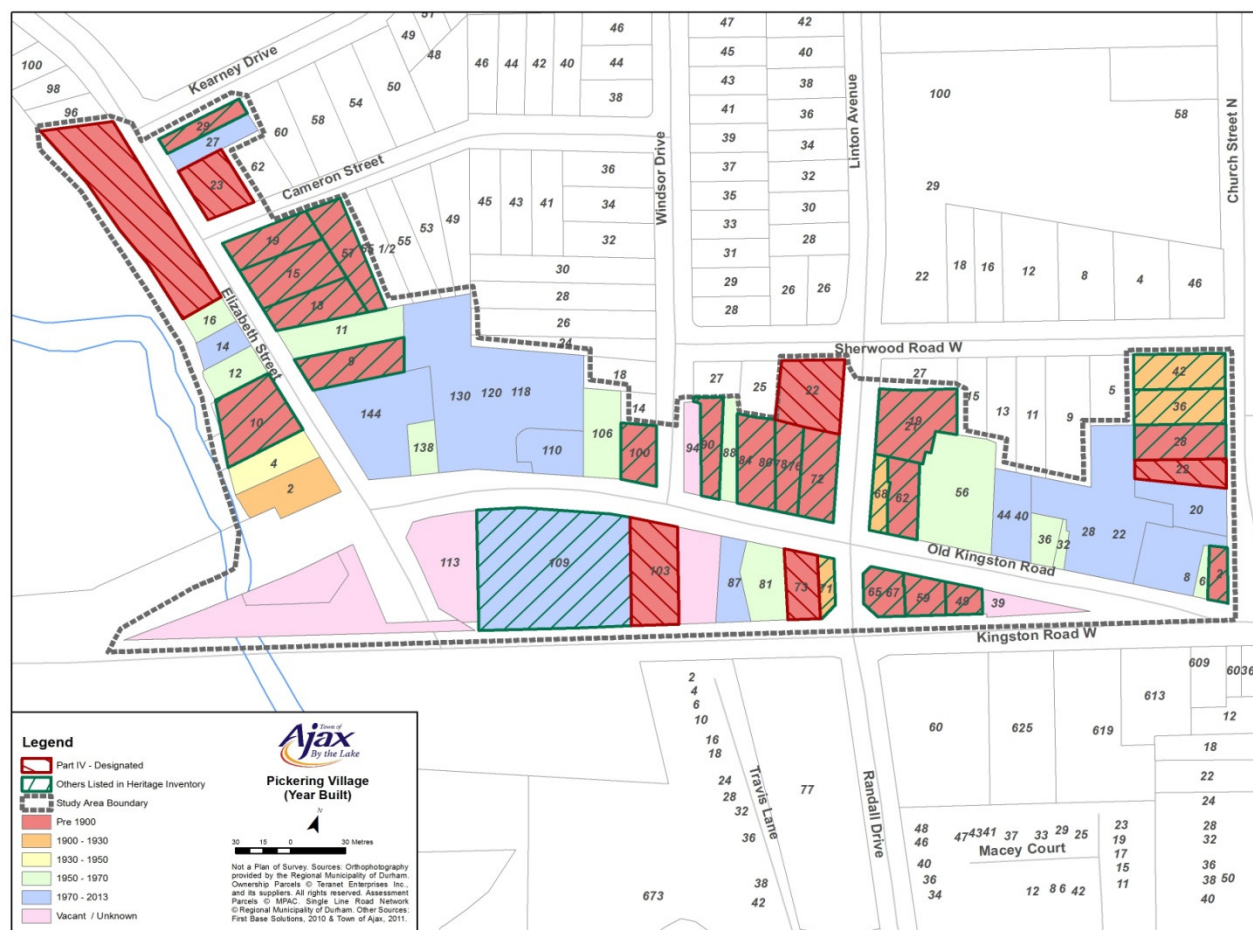


Map 2. The Boundary of the Pickering Village Heritage Conservation District. The District provides protection for the heritage resources in the old village, and controls the appearance of future development that will form their setting.

2.0 Heritage Character and Heritage Statements

2.1 Heritage Resources

The Study Area is rich in heritage resources. Of the 58 parcels, 52% are recognized as heritage properties in the Town's Heritage Inventory: 30 are listed in the Town of Ajax Heritage Inventory and of these, 6 are designated under Part IV of the *Ontario Heritage Act*. This proportion is typical of the heritage ratios found in other Heritage Conservation Districts in Ontario. There is a strong heritage presence in the Study Area.



The properties designated under Part IV of the *Ontario Heritage Act* are:

- 22 Church Street North
- The Methodist Cemetery, Elizabeth Street
- The Sheppard Residence, 23 Elizabeth Street
- The Hartrick House, 22 Linton Avenue
- The Murkar House, 73 Old Kingston Road
- The Gordon House Hotel, 103 Old Kingston Road

In addition, there are a number of the listed properties that merit consideration for Part IV designation.

Map 3. Properties with diagonal hatching are heritage properties.
Hatching that slopes down to the right indicates individual Part IV designation.

2.0 Heritage Character and Heritage Statements

2.2 Statement of Heritage Value

The Pickering Village Heritage Conservation District is a distinct and unique area in the Town of Ajax, characterized by a wealth of heritage buildings and landscapes. The District is representative of the development and growth of an Ontario milling and commercial village, with associated residential areas, dating from the mid-19th through the early 20th centuries, with largely compatible modern development.

Particular elements worthy of preservation are:

- A wide range of historic architectural styles within a compact area.
- A high percentage of heritage buildings that remain largely intact.
- A village-like character enhanced by the curve of Old Kingston Road, and the presence of mature trees in both commercial and residential areas.
- The association of locally significant persons with many of the properties.

2.3 Statement of Heritage Attributes

The heritage character of the Pickering Village Heritage Conservation District reflects the built and natural heritage of the development of Pickering Village, in response to historic patterns of settlement, industry, and transportation routes.

The curved alignment of Old Kingston Road originated in the topographical character of the Duffins Creek ravine, which had limited options for crossing in the pre-bulldozer age. The horizontal and vertical curve of Old Kingston Road lends considerable charm to the streetscape. Old Kingston Road retains a substantial number of heritage buildings from the 19th and early 20th centuries, and there are also substantial numbers of residential buildings to the north of Old Kingston Road from the same period. The area is rich in mature trees and plantings which reinforce the village character.

The overall heritage attributes are described in the examination in Section 4 of the Study. The heritage attributes of individual buildings are described in the Inventory. The Study and the Inventory are part of this Plan, but are published in separate volumes.

2.4 Statement of Objectives in Designating the District

2.4.1 Overall Objective

To ensure the retention and conservation of the District's cultural heritage resources and heritage character, and to guide change so that it contributes to, and does not detract from, the District's architectural, historical, and contextual character.

- As stated in Sections 8.1 and 8.2 of the Study;
- As generally described in Section 4 of the Study; and
- As detailed in the District Property Inventory.

2.0 Heritage Character and Heritage Statements

2.4.2 Objectives for Heritage Buildings

To retain and conserve the heritage buildings identified in the District Plan on Map 3, found on page 7.

To conserve heritage attributes distinguishing, qualities or character of heritage buildings and avoid the removal or alteration of any historic or distinctive architectural feature.

To correct unsympathetic alterations to heritage buildings.

To undertake the restoration of heritage buildings based on a thorough examination of archival and pictorial evidence, physical evidence, and an understanding of the history of the local community.

2.4.3 Objectives for Non-Heritage Buildings

To retain and enhance complementary characteristics of non-heritage buildings.

To encourage improvements to non-complementary buildings so that they further enhance the heritage character of the District.

2.4.4 Objectives for Landscape/Streetscape

To facilitate the introduction of, as well as conservation of, historic landscape treatments in both the public and private realm.

To preserve trees and mature vegetation, and encourage the planting of species characteristic of the District.

To introduce landscape, streetscape, and infrastructure improvements that will enhance the heritage character of the District.

To introduce landscape, streetscape, and infrastructure improvements that will encourage a safe and comfortable pedestrian environment.

2.4.5 Objectives for New Development

To ensure compatible infill construction that will enhance the District's heritage character and complement the area's village-like, human scale of development.

To guide the design of new development to be sympathetic and compatible with the heritage resources and character of the District while providing for contemporary needs.

2.4.6 Objectives for Community Support

To foster community support, pride and appreciation of the heritage buildings, landscapes, and character of the District, and promote the need to conserve these resources for future generations.

To facilitate public participation and involvement in the conservation of heritage resources and further development of the District.

To offer assistance and incentives to individual heritage property owners to encourage the use of proper conservation approaches when undertaking improvement projects.

2.4.7 Objectives for Business/Tourism

To work with owners in the Commercial Area to maintain a progressive and competitive business environment while at the same time protecting the heritage attributes of the District that make the area a unique and distinctive shopping environment.

To acknowledge that the Heritage District is an asset that contributes to the commercial success of the District and the larger municipality.

3.0 Review and Interpretation

3.1 Review of Activities in the District

3.1.1 Activities Subject to Review

In accordance with Section 42.1 of the *Ontario Heritage Act*, the Goal and Objectives, Policies, and Design Guidelines in this document will be used to review the following types of activities in the District (other than those exempted below) in particular as it relates to the review and approval of a Heritage Permit application:

- The erection, demolition, or removal of any building or structure, or the alteration of any part of a property other than the interior of a building or structure, or other than activities described in Section 3.1.2, below. (A 'Structure' means anything that is erected, built or constructed of parts joined together or any such erection fixed to or supported by the soil or any other structure.)
- All matters relating to the Town of Ajax Official Plan, and the regulation of zoning, site plan control, severances, variances, signage, demolitions, and building relocation.
- All municipal public works, such as street lighting, signs, landscaping, tree removal, utility locations, and street and infrastructure improvements.
- All activities of the municipal and regional governments.

3.1.2 Activities Exempt from Review

In accordance with Section 41.1 (5)(e) of the *Ontario Heritage Act*, the following classes of alterations that are minor in nature, are not required to obtain a Heritage Permit, and are not subject to review under this Plan:

- Any interior work;
- Painting;
- Repairs to roof, eavestroughs, downspouts, chimneys (non-heritage buildings only); re-roofing using appropriate material listed in Section 9.8;

- Repair and restoration of original elements using like materials;
- Caulking, window repair, weatherstripping, installation of storm doors and windows;
- Replacement windows in non-heritage buildings;
- Minor installations, including small satellite dishes (not visible from the street), lighting, and flagpoles;
- Solar panels not visible from the street;
- Fencing, patios, garden and tool sheds, gazebos and other small outbuildings that are not readily visible from the street;
- Planting, removal of trees smaller than 200mm caliper measured at 1.5 m above the ground, and removal of any other vegetation on private property;
- Ramps and railings to facilitate accessibility;
- Temporary installations, such as basketball nets, planters, statues, seasonal decorations; and
- Repair of utilities and public works.

3.2 Contexts for Interpretation

Provisions of the District plan should be considered within the contexts of:

- The Provincial Policy Statement, and
- Overall municipal objectives and goals.

In accordance with Section 41.2 of the *Ontario Heritage Act*, Council may not pass a by-law for any purpose that is contrary to the objectives set out in the Heritage Conservation District Plan. In the event of a conflict between the Plan and a municipal bylaw that affects the District, the Plan prevails to the extent of the conflict.



Kingston Road, 1912, showing Dale Block. Photograph from the Ajax Archives

4.0 District Policies—Buildings and Sites

4.1 Overview

The Pickering Village Heritage Conservation District has a wealth of heritage resources, and a recognizable heritage character. The heritage character of the District is enhanced by streetscapes, planting, fencing, open spaces, vistas, and natural areas.

The Plan and its Policies anticipate change. Heritage buildings will be restored, reused, and have additions. Non-heritage buildings will also be added to or altered. New buildings will be constructed. The purpose of the Plan is to ensure that these activities are complementary to both the individual heritage buildings and the overall heritage environment in the District.

To preserve and enhance the heritage character of the District, policies have been developed concerning the following.

- heritage buildings;
- non-heritage buildings;
- new buildings;
- landscapes.

The Policies are supported by illustrative guidelines, which are found in Section 9.0 of the District Plan.

4.2 Heritage Buildings

Pickering Village possesses an attractive collection of nineteenth and early twentieth century village buildings of varied types and styles. The historic buildings include commercial buildings and dwellings, some of which have been converted to commercial uses, and a small number of outbuildings. In their detail and scale, these buildings serve to define the historical village environment. The retention of these buildings is essential to the success of the District. Therefore, the intent is to conserve and restore these resources, prevent their demolition and if necessary, ensure their relocation or salvage.

For the purposes of this Plan, any property identified as ‘Part IV-designated’ or ‘Others listed in Heritage Inventory’ in Map 3, found on page 7, is considered a heritage property.

The conservation of heritage buildings involves actions or processes that are aimed at safeguarding the heritage attributes of the resource so as to retain its heritage value and extend its physical life. Conservation can involve preservation, rehabilitation, restoration or a combination of these actions. These terms are defined as follows:

- **Preservation:** The action or process of protecting, maintaining, and/or stabilizing the heritage attributes (materials, form, integrity) of the entire heritage resource (or an individual component of the resource) while protecting its heritage value.

4.0 District Policies—Buildings and Sites

- **Rehabilitation:** The action or process of ensuring a continuing use or a compatible contemporary use of a heritage resource (or an individual component) through repair, alterations, or additions, while protecting its heritage value. This can include replacing missing historic features either as an accurate replica of the feature or may be a new design that is compatible with the style, era, and character of the heritage resource.
 - **Restoration:** The action or process of accurately revealing, recovering, or representing the state of the heritage resource (or of an individual component), as it appeared at a particular period in its history, while protecting its heritage value. This could include removal of features from other periods in its history and the reconstruction of missing features from the restoration period (based on clear evidence and detailed knowledge).
- e) Maintain heritage attributes on an ongoing basis to avoid major conservation projects and high costs.
 - f) Repair rather than replace heritage attributes using recognized conservation methods. Respect historical materials and finishes by repairing with like materials.
 - g) Replace using like material any extensively deteriorated or missing parts of heritage attributes.
 - h) Correct inappropriate interventions to heritage attributes.
 - i) Undertake any work required to preserve heritage attributes physically and visually compatible with the heritage resource.
 - j) Respect documentary evidence. Conservation work should be based on a thorough examination of physical and archival evidence. Where there is insufficient evidence, it may be appropriate to make the design, form, material, and detailing of the new feature or element compatible with the character of the heritage resource as commonly found in the District.

4.2.1 Conservation of Heritage Buildings

- a) Conserve and protect the heritage value of each heritage resource. Do not remove, replace, or substantially alter its intact or repairable heritage attributes.
- b) Conserve changes to a heritage resource which, over time, have become heritage attributes in their own right.
- c) Conserve heritage value by adopting an approach involving minimal intervention.
- d) Evaluate the existing condition of heritage attributes to determine the appropriate intervention needed. Use the gentlest means possible for any intervention.

4.2.2 Alterations and Additions to Heritage Buildings

- a) Conserve the heritage value and heritage attributes of a heritage resource when creating any new addition or any related new construction. Make the new work physically and visually compatible with, subordinate to, and distinguishable from the heritage resource.
- b) Ensure that any new addition, alteration, or related new construction will not detrimentally impact the heritage resource if the new work is removed in future.
- c) Alterations and additions to the heritage resource shall conform with the Guidelines found in Section 9.3.

4.0 District Policies—Buildings and Sites

4.2.3 Relocation of Heritage Buildings

- a) Relocation or dismantling of a heritage building will be employed only as a last resort.
- b) Buildings of cultural heritage value shall be retained in situ (at their original locations) whenever possible. Before such a building can be approved for relocation to any other site, all options for on-site retention will be investigated. The following alternatives, in order of priority, will be examined prior to any approval of relocation for a heritage building:
 - Retention of the building in its original location in its original use.
 - Retention of the building in its original location in an adaptive re-use.
 - Relocation of the building to another part of the original site.
 - Relocation of the building to another site in the District.
 - Relocation of the building to a sympathetic site within the Town of Ajax.
- c) A threatened heritage building relocated to the District from another site should generally be compatible in style and type to the existing development patterns in the District.

4.2.4 Demolition of Heritage Buildings

- a) The demolition of heritage buildings within a Heritage Conservation District is not supported.
- b) The Town, under the *Ontario Heritage Act*, may refuse a demolition permit for either an individually designated building or a building located within the District.

4.2.5 Salvage of Historic Building Materials and Features

- a) In the rare case where a heritage building is permitted to be demolished, the building will be documented (researched and photographed) and the proponents of the demolition will be required to advertise in the local press, the availability of the building for relocation or salvage of architectural features, as a condition of the demolition permit.
- b) The Town may require the demolition of a building to be undertaken in such a manner as to expose the construction techniques used for documentation and educational purposes.

4.2.6 Uses of a Heritage Building

- a) The uses permitted for a heritage building will be governed by the Zoning By-law.
- b) Uses that require minimal or no changes to heritage attributes are supported.

4.0 District Policies—Buildings and Sites

4.3 Non-Heritage Buildings

A substantial minority of the properties in the Pickering Village Heritage Conservation District are non-heritage buildings. Many of these properties are good neighbours to the heritage buildings in scale, massing, and design. There are also newer buildings that have been consciously designed to complement the heritage buildings in the village.

4.3.1 Additions and Alterations

Alterations and additions to non-heritage buildings in the District should be consistent with one of two design approaches: Historical Complementary or Modern Complementary as described in the Guidelines in Section 9.4.

4.3.2 Demolition of Non-Heritage Buildings

Generally, the demolition of a Non-Heritage building is not supported, if the building is supportive of the overall heritage character of the District.

4.4 New Residential Buildings

New residential buildings will have respect for and be compatible with the heritage character of the District. Designs for new residential buildings will be based on the patterns and proportions of 19th century and early 20th century building stock that are currently existing or once existed in the village. Architectural elements, features, and decorations should be in sympathy with those found on heritage buildings.

4.4.1 Design Approach

- a) The design of new buildings will be products of their own time, but should reflect one of the historic architectural styles traditionally found in the District.
- b) New residential buildings will complement the immediate physical context and streetscape by: being generally the same height, width, and orientation of adjacent buildings; being of similar setback; being of like materials and colours; and using similarly proportioned windows, doors, and roof shapes.
- c) New residential building construction will respect natural landforms, drainage, and existing mature vegetation.
- d) Larger new residential buildings will have varied massing, to reflect the small and varied scale of the historical village.
- e) The height of new residential buildings should not be less than 80% or more than 120% of the average height of the residential buildings on immediately adjacent properties. Historically appropriate heights for new residential buildings are considered to be 1-1/2 or 2 storeys, subject to an actual height in metres complying with zoning provisions.
- f) New residential building construction in the District will conform with the Guidelines found in Section 9.5.2.

4.0 District Policies—Buildings and Sites

4.5 Landscapes

Landscapes and landscaping helps to define the character of the District, and to provide an appropriate setting for its historic buildings. The *Ontario Heritage Act* extends alteration controls to cover property features, in addition to the exterior of buildings and structures. Property features can include trees, vegetation, pathways, fences, and other landscape elements that are of cultural heritage value or interest.

4.5.1 Landscape Treatment

Existing historical landscapes will be conserved. The introduction of complementary landscapes to the heritage environment will be encouraged. Landscape Guidelines are provided in Section 9.7.

4.5.2 Trees and Shrubs

- a) Mature trees will be preserved except where removal is necessary due to disease or damage, or to ensure public health and safety, as certified by a professional arborist. Lost trees should be replaced.
- b) New trees and shrubs should be native, historical, non-invasive species, as listed in the Guidelines.
- c) Planting should not obscure heritage buildings, but can frame important features. Planting should screen less attractive sites and prospects in the District.

4.5.3 Fences

- a) Fences will be regulated by the municipal fence by-law.
- b) Existing historical fences will be preserved. The erection of new fences of historic designs is encouraged.



4.0 District Policies—Buildings and Sites

4.6 Commercial Area

In order to help retain and enhance the heritage character of the District, specific guidance is needed to address both new and existing commercial buildings on Old Kingston Road. The commercial features impacting the exterior of buildings such as signage, awnings, restaurant patios, and parking lots should also be addressed.

4.6.1 Design Approach

- a) The design of new commercial buildings will be products of their own time, but should reflect an historic architectural style either traditionally found in the District or reflective of traditional commercial architecture.
- b) A design approach that reduces the actual and perceived scale of large developments will be pursued.
- c) New commercial projects will respect adjacent residential and historic properties.
- d) New commercial projects will not be taller than 4 stories, with a maximum height of 12.5 metres.
- e) New commercial building construction in the District will conform with the Guidelines found in Section 9.5.3.



4.0 District Policies—Buildings and Sites

4.6.2 Commercial Signage

- a) Commercial signage will be regulated by the Town of Ajax By-law 27-2009.
- b) A Pickering Village Special Sign District should be made to conform to the Heritage District boundary.
- c) Commercial signage in the District will be consistent with the Guidelines found in Section 9.5.3.8.
- d) Artistic and commercial murals are not permitted.

4.6.3 Commercial Awnings

Awnings on commercial buildings will be consistent with the Guidelines found in Section 9.5.3.8.

4.6.4 Commercial Patios

- a) Restaurant or commercial patios will be regulated by the municipal Zoning By-law.
- b) Restaurant or commercial patios will be consistent with the guidelines found in Section 9.5.3.4.

4.6.5 Commercial Parking Lots

- a) Attractive, well-designed parking lots that complement the special character of the District are supported. Parking will not be permitted to be located in front of the main entrance to buildings or on exterior side yards.
- b) Parking lots will be appropriately screened. Features such as lighting, signage, and amenities used in parking lots will be consistent in design terms with those found throughout the District.
- c) The integration and connection of individual commercial parking lots is supported, due to the collaborative nature and interdependence of the various commercial enterprises in the Commercial Core, and in order to improve the efficiency and appearance of the parking facilities.
- d) The development of underground parking facilities, appropriately located and sited, is supported.

4.7 Development on Adjacent Properties

In accordance with Section 2.63 of the Provincial Policy Statement, the Town will require that development and site alteration on lands adjacent to the District must demonstrate that the heritage attributes of the District will be conserved. For the purposes of this Plan, “adjacent” means across the road from, as well as contiguous with.

5.0 District Policies—Streetscape and Infrastructure

5.1 Overview

The following policies address those components of the District located primarily in the public realm. These features include roads, curbs, municipal services, parking facilities, sidewalks, boulevards, street furniture, pedestrian amenities, lighting, utility wires, public signage, vegetation, parkettes, and open space. The proper treatment of these features can enhance the heritage character of the District.

5.2 Roads, Curbs, and Municipal Services

The provision of adequate roads, curbs, storm and sanitary sewers, and water supply are essential components for a living Heritage District.

Policies:

- a) Future road, curb, and servicing improvements will be undertaken in a manner that preserves and enhances the heritage character of the District.
- b) Existing pavement widths should not be increased.
- c) In general, all aspects of road design that improve pedestrian amenity are supported.



5.0 District Policies—Streetscape and Infrastructure

5.3 Sidewalks and Boulevards

The existing sidewalk and boulevard treatment in the District, varies in different areas. All of the roads are built to an urban, curbed profile. Sidewalks are all concrete.

In the residential area, a few frontages are without sidewalks: the west side of Elizabeth Street, the west side of Linton Avenue, the west side of Windsor Drive, Cameron Street. Grassed boulevard widths vary from zero to about 2 metres. There are only a few mature trees within the boulevards (two are in front of 19-21 Linton Street).

Old Kingston Road has recently undergone an extensive streetscape treatment. This includes lay-by parking bays, precast paving blocks flanking the concrete sidewalk on both the curb side and the property side, and raised planting beds in precast block. There are new street trees in the boulevard in front of The Courtyard at 109 Old Kingston Road.

Policies:

- a) The existing character of sidewalks and boulevards contributes to the character of the Village.
- b) The Urban Square is a valuable public amenity, and should be maintained.
- c) Replacement sidewalks should be constructed of concrete. The absence of sidewalks in some areas may be continued.

5.4 Street Furniture and Pedestrian Amenities

Street furnishings include decorative street lighting, hanging and ground planter pots, and metal benches. Street furniture and related pedestrian amenities should be part of a coordinated design approach, to help define the District as a distinctive and special area.

Policies:

- a) Street furniture and related pedestrian amenities such as benches, trash and recycling receptacles, bicycle racks, telephone booths, and newspaper box enclosures will be provided as required. These items shall be consistent through the District, and will conform to the Guidelines in Section 9.6.

5.5 Streetlights and Utility Wires

Streetlights and utility wires are necessary in all communities. A distinct street light and absence of overhead wires can be a cohesive element that ties the District together and defines it as a special area.

Policies:

- a) Street and other outdoor lighting will be appropriate in light intensity to the function of the street.
- b) Any lighting fixtures introduced in parking lots (public or commercial) should be consistent with the design used throughout the District.

5.0 District Policies—Streetscape and Infrastructure

5.6 Public Signage

Typical public signage includes directional, regulatory, identity, and public information signs. If properly developed, these signs can promote a coordinated identity supportive of the heritage area.

- a) Regulatory signs should be the same type of sign used elsewhere in the municipality.
- b) A design for Heritage District identification signs should be developed to help promote awareness of the District. The design should have a simple, distinctive shape, and should be mounted with street name signage in the District.
- c) Heritage District entry signs should be designed and installed at the principal gateway points. The design, colour, and materials of street name signs, entry signs, and other public information signage will be consistent and complementary to the District character.
- d) A distinctive sidewalk stamp for the District should be developed, to be embossed at intersections when new sidewalk sections are installed.
- e) A village notice board, including a map identifying the heritage conservation district, should be erected as part of the streetscape design in the Urban Square.
- f) Further investigate the opportunity for the Town and the Pickering Village BIA to work with the Ministry of Transportation Ontario (MTO) to erect identifier signage along Highway 401.

5.7 Vegetation

The vegetative cover in the public realm of the District significantly contributes to the area's human-scale, village-like character. Street trees, flowers in baskets, shrubs, and vegetation found in the open spaces all contribute to the area's distinctiveness. In addition to their scenic beauty, trees and other vegetation are equally important for controlling the effects of climate by reducing wind velocity, providing shelter from sun, rain, and snow, and creating a moderated microclimate.

- a) Plant material introduced to the public realm should be indigenous and/or historically appropriate.
- b) Existing mature trees and other vegetative amenities in the public realm should be retained and preserved except where removal is necessary due to disease or damage, or to ensure public health and safety.
- c) An appraisal of the health of tree cover in the public realm will be undertaken with the result being a replanting policy or plan to replace unhealthy trees and coordinate new plantings.
- d) The placement of new tree-plantings will avoid screening buildings of cultural heritage value or interest.
- e) Plantings will contribute to screening less attractive sites in the District, including above-ground utilities, where practical from an operation and maintenance perspective.
- f) Guidelines for appropriate vegetation are located in Section 9.7.

6.0 District Policies—Special Areas and Projects

6.1 Public Awareness

It is extremely important to ensure that all property owners and residents in a heritage conservation district are aware of, and have a clear understanding of, the policies, processes, and procedures which apply in the District. Education opportunities and a comprehensive communication strategy are essential.

6.1.1 Communication

Effective communication of District goals, policies and guidelines is important to the success of any Heritage Conservation District.

Policies:

- a) Information concerning the District and the District Plan, as well as related matters, will be made available to property owners, residents, and commercial tenants.
- b) The Heritage Conservation District by-law will be registered on title to every property in the district, in accordance with the *Ontario Heritage Act*.
- c) The heritage section of the Town's website will ensure easy access to the Pickering Village Heritage Conservation District information, which will include:
 - historical information on the District;
 - a map of the District;
 - the Heritage Conservation District documents, in the form of downloadable sections as PDF files;
 - links to external websites with helpful heritage information, such as those listed in Section 10 of this Plan.
- d) Additional opportunities and mechanisms to inform new homeowners and commercial tenants about the Heritage District and associated requirements through existing Town department and operational requirements will be pursued.

6.1.2 Education

Education is a useful tool in preserving heritage resources, for owners of heritage properties, whether or not they are in the District, and for Town Staff and members of the Heritage Advisory Committee. Some recommended steps that might be undertaken include:

- a) The creation and promotion of learning opportunities for property owners in the District may be pursued. This may include special workshops or presentations, as well as the provision of written materials.
- b) The promotion of periodic learning opportunities for members of The Ajax Heritage Advisory Committee and the Town's Committee of Adjustment members to ensure a comprehensive understanding of the heritage conservation principles and policies as well as the specific policies of the Pickering Village Heritage Conservation District Plan is supported.
- c) A user-friendly information handout might be prepared to explain the heritage conservation easement concept and the associated agreement.

7.0 Municipal Policies

7.1 Overview

Municipal planning and development policies may have a greater impact on the heritage character of a District than do explicit heritage policies. It is important to integrate all policies that have a heritage impact in order to maximize the protection of the special character of the District.

7.2 Recognizing the Heritage District Plan

The purpose of the Town of Ajax Official Plan is to set out policies and programs to govern the nature, extent, pattern, and scheduling of development and redevelopment and other matters within a framework of general goals and objectives. One of the overall general goals of the Official Plan is to foster an understanding of and to endeavour to protect the heritage of the Town.

Policy:

- a) The Official Plan should be amended to recognize the Pickering Village Heritage Conservation District Plan.

7.3 Land Use in the District

The general use of land in the District is identified in the Official Plan, and is further refined in specific zoning by-laws for the area. Prominent land uses in the District include residential, commercial, and open space, and a deviation from these uses is not recommended. However, some of the existing development standards associated with zoning by-laws do not reflect the traditional built form and streetscape character found in the District.

If not altered, this will result in applicants having to make application to the Committee of Adjustment for variances in order to implement the design guidelines presented in the District Plan.

Policy:

- a) Existing District land uses, designated in the Official Plan, and the prevailing zoning classifications are supported.
- b) Zoning By-law 95-2003, as amended, will be reviewed to examine whether it is desirable to develop a zoning overlay for all or part of the District to reflect the existing built form.

7.0 Municipal Policies

7.4 Land Severance and Minor Variances

Applications for Minor Variances at the Ajax Committee of Adjustment, and Land Severances at the Land Division Committee in the Region of Durham, involve land planning issues rather than construction and demolition, per se. As such, they do not require heritage permits under the *Ontario Heritage Act*. These committees, in reviewing their respective applications, consult with appropriate Town departments and agencies for advice regarding adjacent use (i.e., compatibility of the size, shape, and proposed use of the new lot with the adjacent uses), access considerations, and availability of services. Preferred planning outcomes include infilling to economize the use of urban space while maintaining desirable patterns of existing development, and avoiding the perpetuation of undesirable patterns of development or prejudicing the pattern of future development.

In advising on applications for severance or minor variances in the District, the Town should only support such applications if the proposal is compatible with the objectives and policies of the District Plan.

Policy:

- a) Each land division proposal and minor variance will be evaluated on its own merits and as to its compatibility with the objectives and policies of the Heritage Conservation District Plan.

7.5 Site Plan Control

All of the land within the boundaries of the Town of Ajax has been designated as a Site Plan Control Area under By-law 111-98. This designation allows Council to approve plans and drawings as provided for in section 41 of the *Planning Act, R.S.O., 1990*.

By-law 92-98, delegates site plan approval authority to the Director of Planning and Development Services or their designate. Notwithstanding this delegated authority, Council retains the right to withdraw delegated approval authority on any site plan application.

In most of Ajax, including the District, single and semi-detached dwellings and street town-houses are exempted from the Site Plan Control process.

Policy:

- a) Site plan control will apply in the same manner as it presently does, within the District.
- b) The Town should ensure that substantial projects in the District are reviewed, in the Site Plan Control process, by design professionals with experience in heritage work. It may be desirable to obtain outside professional advice, at the expense of the applicant, to supplement the expertise of Town staff.

7.0 Municipal Policies

7.6 Signage By-law

The Town of Ajax By-law 27-2009 regulates signage throughout the Town. There are no special provisions regarding the Study Area other than the following Section:

15. Overhanging Signs shall be permitted in... the Pickering Village Business Improvement Area subject to a maximum of one Sign per business establishment, each Sign not to exceed 0.3 m² in area with a minimum clearance from the sidewalk of 2.5 m.

Many municipalities have included 'heritage sign districts' in their sign bylaws, to recognize the special character of historic areas.

Policy:

- a) The Sign By-law should be amended to strengthen its protection of the heritage character in the Heritage District. In particular, internally illuminated signs including back-lit awning signs should be prohibited, and awnings should be required to be retractable, in the traditional profile.

7.7 Demolition Control

Recent amendments to the *Ontario Heritage Act* allow Council to prohibit the demolition of a structure designated under the Act. Properties within a heritage conservation district are considered to be designated under Part V of the *Ontario Heritage Act*.

Policy:

- a) Council will prevent the demolition of heritage buildings within the District save and except, in the rare case where a heritage building is permitted to be demolished as outlined in Section 4.2.5.

7.8 Heritage Easements

A Heritage Easement agreement requires the owner of a heritage building to secure approvals for any changes or alterations, reasonably maintain the structure to prevent any deterioration, and retain insurance on the building in an amount equal to its replacement.

Policy:

- a) A Heritage Easement Agreement should be considered for major redevelopment projects in the District which involve the incorporation and restoration of a heritage building.

7.0 Municipal Policies

7.9 Tax Measures

Recent provincial legislation allows municipalities to enact property tax abatement for properties designated under Part IV and Part V of the *Ontario Heritage Act*. The Town of Ajax has a program to provide 10% tax reductions or refunds on municipal and school levies for eligible heritage properties, under By-law 132-2005. Eligible properties include those designated under either Part IV or Part V of the *Ontario Heritage Act*. Eligible properties must also be subject to a heritage easement with the Town or the Ontario Heritage Trust, or an agreement with the Town respecting the preservation and maintenance of the property.

Policy:

- a) Council should consider increasing the percentage reduction of the Heritage Tax Rebate Program from 10% upwards to 40% (the maximum permitted under Section 365.2 of the *Municipal Act*).

7.10 Grants and Loans

Many municipalities have heritage loan and grant programs. For example, the Town of Port Hope and the City of Brampton have matching grant programs for heritage related work on designated buildings, including District designations. The loss of heritage properties due to simple neglect is an avoidable tragedy and small levels of assistance have proven to be very effective in encouraging needed repairs and restoration.

Policy:

- a) Council should consider the utility of a heritage grant and loan program as a tool to preserve the character of Pickering Village.

7.11 Tree Preservation

Section 3.2.7 of The Ajax Official Plan deals with the Village Central Area. This section lists the protection and enhancement of the existing tree canopy under its intent and its principles. Under the heading of “The Village Pedestrian Experience” the Official Plan discourages the removal of existing mature trees that are worthy of preservation, and calls for accommodating the retention of existing mature trees in the design of landscapes and buildings.

In pursuit of these provisions, the Town is studying the creation of a private tree by-law in order to give the force of law to these worthy concerns.

Policy:

- a) This Plan supports the provisions of the Official Plan dealing with the mature tree canopy in the District, and recommends enactment of a private tree by-law.

7.0 Municipal Policies

7.12 Community Improvement Area

According to the Official Plan, one of the actions that the Town may undertake to improve the community's visual appearance is to provide financial incentives to stimulate investment in Pickering Village through a Community Improvement Plan (CIP). The CIP is being prepared concurrently with the Heritage Conservation District Plan, and will be brought forward for Council's consideration concurrently with the Heritage Conservation District Plan.

The goal of the CIP is to provide positive direction for future development, offering incentives for focused improvement that is sympathetic to the historical character of Pickering Village. Incentives being considered include:

- Façade Improvement Grant Program
- Sign Grant Program
- Development Tax Rebate Program
- Planning and Development Fees Rebate Program
- Development Charge Exemption Program
- Reduced Parkland Dedication Requirements



Part C
Implementing
The District

8.0 Implementation

8.1 Overview

Once Council has adopted the boundary and the Plan for the Heritage District and any appeals have been heard by the Ontario Municipal Board, a variety of measures are necessary to ensure the successful implementation of the District. These include.

- an application review process that is simple, efficient, and fair;
- a review body to provide advice on proposed alterations, new construction, demolitions in the District;
- the availability of the policies and guidelines for use by the public;
- the availability of financial assistance to assist in conservation initiatives;
- public awareness of the District concept, its objectives, and its boundaries;
- a mechanism to review and, if necessary, amend the District's policies and procedures.

Important Note:

In this Plan, “Heritage Building” and “Heritage Property” refers to buildings and properties listed in the Town of Ajax Heritage Inventory or designated under Part IV of the *Ontario Heritage Act*. As of the date of writing, these properties are indicated on Map 3 on page 7 of this Plan with diagonal hatching as “Part IV-Designated” and “Others Listed in Heritage Inventory”. Other buildings and properties may be added in the future.

8.2 Required Permits

The designation of a Heritage Conservation District invokes Section 42 of the *Ontario Heritage Act*, which states:

42. (1) No owner of a property situated in a heritage conservation district that has been designated by a municipality under this Part (Part V) shall do any of the following, unless the owner obtains a permit from the municipality to do so:

1. Alter, or permit the alteration of, any part of the property, other than the interior of any structure or building on the property.
2. Erect, demolish, or remove any building or structure on the property or permit the erection, demolition or removal of such a building or structure.

Exception

(2) Despite subsection (1), the owner of a property situated in a designated heritage conservation district may, without obtaining a permit from the municipality, carry out such minor alterations or classes of alterations as are described in the heritage conservation district plan in accordance with clause 41.1 (5) (e) to any part of the property in respect of which a permit would otherwise be required under subsection (1).”

The classes of minor work exempted from the permit requirement are formally stated in Section 3.1.2 of this document. They are repeated, for convenient reference in Section 8.3.1.1, below.

8.0 Implementation

8.3 Streamlining the Process

In order to streamline and simplify procedures for permit applications and their review, the permit requirements for work in the district have been divided into classes, corresponding to the scale of the work being proposed, and have been integrated into the permit process for building and development.

The classes of Heritage Permit are:

- Heritage Permit, for minor work that does not require a Building Permit;
- Heritage Permit with Building Permit, for work that requires a Building Permit;
- Heritage Permit with Site Plan Approval, for work that requires planning approval.

The processes for these classes are described in Sections 8.3.1 through 8.3.3, below.

There will be no fees charged for Heritage Permits. Fees charged for Heritage Permits with Building Permits and Site Plan Approvals will be the same as for respective ordinary (non-heritage) applications.

In addition, Heritage Staff will review applications for Official Plan Amendments; Zoning By-law Amendments; applications to the Committee of Adjustment for Minor Variances; and applications to the Land Division Committee at the Region of Durham for Consents to Sever or Convey Property in the District. These are not Heritage Permits, but are a service to applicants, allowing them to be aware of heritage issues prior to making an application for future Heritage Permits with Building Permits or with Site Plan Approvals.

Section 8.8, below, provides checklists for applications in the various classes.

In addition, Council delegates authority for review and approval of smaller scale non-controversial Heritage Permits to Town Heritage Staff and/or the Town of Ajax Heritage Advisory Committee. Such delegated reviews and approvals will be reported to Council. If outstanding issues in an application cannot be resolved by these delegated bodies, Council will review the application, inviting deputations from the applicant prior to its decision.

These arrangements should minimize the time required for issuing Heritage Permits. Applications for Building Permits or Site Plan Review will be circulated for heritage review in the same way they are already circulated for planning, zoning, and other approvals.

In most cases, when Policies and Guidelines of the Heritage Plan are followed, there will be little or no delay.

Pre-Review

To speed and simplify the permit process for all scales of work, applicants should become aware of the requirements for the work they propose to undertake. Heritage Staff can give advice on the type of permit required, and provide guidance on interpreting Heritage Policies and Guidelines. Additional advice can be obtained from the Heritage Advisory Committee, which may also be able to assist in historical and technical research. Good internet resources, for work on heritage buildings are listed in Section 9.3.2.

The Town may request the applicant to engage a heritage consultant to provide advice on the development at the pre-review stage. This may be appropriate for large development proposals.

8.0 Implementation

8.3.1 The Heritage Permit

This type of application is only used when no other permits are required for the work to be undertaken. The following list identifies some of the types of minor projects which require a Heritage Permit:

For Heritage Properties—

- new or different windows or doors on heritage buildings;
- changes or removal of architectural decoration or features;
- masonry cleaning and repointing;

For all Properties—

- change of cladding materials for walls and roofs;
- new chimneys, visible from the street;
- new skylights, satellite dishes or awnings, visible from the street;
- new solar panels, visible from the street;
- new or extended fences, visible from the street;
- commercial patios;
- permanent commercial lamp installations;
- mechanical equipment, visible from the street;
- removal of trees larger than 200mm caliper, measured at 1.5 m above the ground;

For Public Works—

- public information signage;
- planting or removal of trees in the public right-of-way;
- new public works.

The foregoing list is intended for general guidance, and may not cover every contingency. Any construction undertaking should be discussed with Heritage Section Staff to ensure compliance with Heritage Permit requirements.

It is also advised that Building Section Staff should be consulted to ensure that a Building Permit is not required for the proposed work.

There is no fee for a Heritage Permit.

8.0 Implementation

8.3.1.1 Exemptions

In keeping with Section 3.1.2 of this Plan, a Heritage Permit is not required for the following projects:

- Any interior work;
- Painting;
- Repairs to roof, eavestroughs, downspouts, chimneys (non-heritage buildings only); re-roofing using appropriate material listed in Section 9.8;
- Repair and restoration of original elements using like materials;
- Caulking, window repair, weatherstripping, installation of storm doors and windows;
- Replacement windows in non-heritage buildings;
- Minor installations, including small satellite dishes (not visible from the street), lighting, and flagpoles;
- Solar panels not visible from the street;
- Fencing, patios, garden and tool sheds, gazebos, and other small outbuildings that are not readily visible from the street;
- Planting, removal of trees smaller than 200mm caliper measured at 1.5 m above the ground, and removal of any other vegetation on private property.
- Ramps and railings to facilitate accessibility.
- Temporary installations, such as basketball nets, planters, statues, seasonal decorations.
- Repair of utilities and public works.

To avoid controversy, it would be prudent to confirm with Heritage Staff that the contemplated work is in an exempted class.

8.3.1.2 Heritage Permit Process

The procedure to be followed has been created to streamline and minimize the time and effort needed by the applicant to gain this approval. Council and the Heritage Advisory Committee have delegated the approval of non-controversial Heritage Permits to Heritage Staff.

Applicant:

- Confirms with Building Section Staff that a Building Permit is not required.
- Conducts a Pre-review of the project with Heritage Staff.
- Submits an application to Heritage Staff. See application checklists in Section 8.8, below.

Heritage Staff:

- Reviews application and grants it if non-controversial, or forwards to the Heritage Advisory Committee for further review.
- Provides the Heritage Advisory Committee with regular summaries of its actions on all applications.

Heritage Advisory Committee:

- Reviews forwarded applications, and provides advice to Council on whether to approve permit or refuse permit with comments.
- Informs Council, in its regular minutes, on all applications, and forwards applications and reports to Council when outstanding issues cannot be resolved.

8.0 Implementation

8.3.2 Heritage Permit with Building Permit

The *Ontario Building Code* requires that owners obtain a Building Permit for any work that involves structural changes, change of use, or change in structural or occupancy loads. Types of projects requiring a Building Permit include:

- new construction or structural repairs to porches, chimneys, roofs, walls, etc.;
- demolition;
- commercial signage;
- additions to buildings (commercial additions also requires Site Plan approval);
- new building construction (commercial and some residential construction also requires Site Plan approval);
- Sheds/outbuildings larger than 10 m² visible from the street

8.3.2.1 Heritage Permit with Building Permit Process

The Town of Ajax Building Section requires that applicants for Building Permits or Demolition Permits must provide all necessary clearances from other departments, including Heritage, before the application process can begin.

An approved Heritage Permit is required for all Demolition Permits or Building Permits within a Heritage Conservation District.

There is no fee for a Heritage Permit. The normal Building Permit fee applies.

Applicant:

- Confirms with Building Section Staff that a building permit is required. The Planning Section will verify whether or not Site Plan Approval is required.
- Arranges for a pre-review with Heritage Staff to confirm whether the proposed work requires a Heritage Permit.
- Completes Heritage Permit application, if required. See application checklists in Section 8.8, below.

Heritage Staff:

- Reviews heritage aspects of the project.
- Issues Heritage Permit, if proposal complies with the Heritage Conservation District Plan, or forwards to Heritage Advisory Committee for further review.
- Provides Heritage Advisory Committee with regular summaries of its actions on all applications.

Heritage Advisory Committee:

- Reviews forwarded applications, and provides advice to Council on whether to either approve permit or refuse permit with comments.
- Informs Council, in its regular minutes, of actions on all applications, and forwards applications and reports to Council when outstanding issues cannot be resolved.

8.0 Implementation

8.3.3 Heritage Permit with Site Plan Approval

Site Plan Approval is required in the Town of Ajax for all construction other than on single detached, semi-detached, and street townhouse dwellings. Planning Section staff can advise applicants when this approval is required. Requirements include detailed building plans and elevations, site plan, landscape plans, and grading and drainage plans. Larger developments may require other supporting documents. Complete requirements are provided in the Town of Ajax Site Plan Review Manual. A link to the Manual is provided in the applications checklist in Section 8.8.3 below. Town Staff has discretion to apply a simplified form of review for smaller projects. Site Plan Approvals are ordinarily delegated to the Director of Planning and Development Services. However, at the request of Council or Senior Management, some applications may be sent to a Committee of Council for endorsement.

In the District, the application will be handled like an ordinary Site Plan Approval, with the addition of a heritage review.

8.3.3.1 Heritage Permit with Site Plan Approval Process

The ordinary process for Site Plan Approvals (Heritage) is outlined below:

Applicant

- Confirms with Planning Staff that Site Plan Approval is required.
- Arranges for a pre-consultation meeting with Heritage and Planning and Development staff.

- Applies for Site Plan Approval. All Site Plan Approval applications in the District will be forwarded to Heritage Staff for internal review and comment. See Application Checklists in Section 8.8, below.

Heritage Staff:

- Reviews application and grants a Heritage Permit if the proposal complies with the Heritage Conservation District Plan, or forwards to Heritage Advisory Committee for further review.
- Provides Heritage Advisory Committee with regular summaries of its actions on all applications.

Heritage Advisory Committee:

- Reviews forwarded application and provides advice to Council on whether to either approve Heritage Permit, with or without conditions, or refuse Permit with comments.
- Forwards recommendations, actions and comments to Planning and Development Services for inclusion in its report on the application.

Planning and Development Services:

- The Director of Planning and Development Services approves the application, or
- Forwards the application to a Committee of Council for endorsement.

Council:

- Endorses Planning and Development staff report.

8.0 Implementation

8.3.4 Review of Other Development-Related Applications

There are a number of development processes that do not deal with buildings or structures, per se, but with land-use and land division. As such, they do not require a Heritage Permit. However, they are steps on the way to future construction. These include: Official Plan Amendments, Zoning By-law Amendments, Minor Variances, and the Severance or Conveyance of land.

It's obviously inefficient, for both applicants and the reviewing bodies, to deal with a proposal that will run afoul of District Policies and Guidelines when it subsequently moves to the Building Permit or Site Plan Approval stage. For example, later revision of plans to comply with the District Plan might call for additional Minor Variances at the Committee of Adjustment than those originally applied for.

For these reasons, applications for Official Plan Amendments, Zoning By-law Amendments, Minor Variances at the Committee of Adjustment, and Consents to Sever or Convey at the Land Division Committee at the Region of Durham will be reviewed by Heritage Staff for compliance with the District Plan. Formally, these are comments to the reviewing bodies.

Pre-review discussions and consultations with Heritage Staff, described above for the various classes of Heritage Permits, are also a part of the application process for these applications. This allows applicants to be aware of heritage concerns at the earliest possible stage of a project.

8.3.4.1 Process for Review of Other Development-Related Applications

The ordinary process for this review is outlined below:

Applicant:

- Arranges for a Pre-review discussion with Heritage Staff.
- Completes standard application forms for permissions sought. All applications in the District will be circulated to Heritage Staff.

Heritage Staff:

- Reviews heritage aspects of application, and comments to the reviewing bodies.

8.0 Implementation

8.4 Resolving Issues and Appeals

The Town is committed to making all reasonable efforts to resolve issues arising in the permit process, consistent with heritage policies and guidelines. And it is further committed to providing historical and technical assistance to applicants in preparing applications that will meet the requirements of the District Plan. Good faith on the part of applicants and reviewers should result in a resolution process that is conversational rather than confrontational.

It may be useful to hold on-site discussions with applicants regarding design and details. The inspection of physical conditions is extremely valuable in assessing what level of restoration should be reasonably expected on a heritage property, and to what extent the work will affect the heritage character of the streetscape. The Town may recommend engaging a heritage consultant to provide assistance in resolving issues.

If issues remain unresolved and are forwarded to Council, deputations from the applicant and their representatives will be invited before a Council decision is taken. Council may also request comments from Heritage Staff or the Heritage Advisory Committee, in addition to the reports which it will have received on the matter, as outlined above.

If Council decides to deny an application for a permit under the *Ontario Heritage Act*, the applicant may make a final appeal to the Ontario Municipal Board, as described in Section 44 of the *Ontario Heritage Act*. The Board has the authority to deny the appeal, or to grant it, with or without such conditions and terms as the Board may direct.

8.5 Plan Renewal

The Pickering Village Heritage District Plan refers to the past, but it is a plan for the future. The Plan recognizes that, while the future may to some extent be foreseen, it cannot be foretold, and that plans require ongoing review to meet changing conditions. The long-term success of the Heritage District depends on “keeping it fresh”.

8.5.1 Reviewing Bodies

Section 8.3, above, provides for a role in the review of Heritage Permit applications by Heritage Staff and the Heritage Advisory Committee. In addition, depending on the scale and scope of proposed work, both bodies will have a role in review of applications. It is important that these bodies thoroughly understand Part V of the *Ontario Heritage Act*, and the Policies and Guidelines in this Plan, and that everyone involved works from the basis of the same understanding.

8.0 Implementation

8.5.2 Regular Review

The District Plan should be reviewed regularly by Town Staff in consultation with the Heritage Advisory Committee, and property and business owners, to ensure that the Boundary, Policies, Guidelines, and administrative methods remain effective and suitable for changing conditions.

8.5.3 Amendments

The policies and guidelines of this Plan may be amended by by-law after consultation, circulation of proposed amendments to potentially impacted parties, and public notice. Minor administrative and technical changes to the Plan may be implemented by a resolution of Council.

8.6 Enforcement

The Town will enforce the requirements of the District Plan using the regulatory provisions of the *Ontario Heritage Act*, the *Planning Act*, the *Building Code Act*, and the *Municipal Act*.

8.7 Public Awareness

The Ajax Official Plan recognizes the importance of the preservation of heritage character in Pickering Village. A successful Heritage District requires public awareness and participation, and a variety of steps should or might be taken to ensure the ongoing effectiveness of the District Plan. Among these are the following:

- Under Section 41.10.1 of the *Ontario Heritage Act*, the Town Clerk must ensure that a copy of the Heritage Conservation District Designating By-law is registered at the appropriate land registry office.
- All Town Staff whose work could potentially impact on the District should be informed of the Boundary, Policies, and Guidelines for the District. This should include not only departments that administer the District or do physical work in it, but also departments that are involved in promotion of the Town, planning for special events, and so on.
- All property owners and tenants in the District should receive notice of the District designation and be given the opportunity to review or purchase copies of the District Study and Plan. The requirements for Heritage Permits should be explained in the notice.
- The Pickering Village Heritage Conservation District Documents should be made available on the Town's website, along with other helpful material, such as links to U.S. Parks Department's Preservation Briefs, and Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada.

8.0 Implementation

8.7 Public Awareness cont'd

- Copies of the Plan and Study should be sent to The Heritage Advisory Committee, the Pickering Village B.I.A., and other groups interested in heritage and town planning.
- Copies of the Plan and Study should be placed in all major branches of the Ajax Public Library for public reference and should be offered for sale to the public.
- Consideration should be given to physical demarcation of the District with Public Works. Street signs in the District might include a “Heritage District” tag. “Gateway” devices might reinforce the identity of the District.
- The existing heritage plaque program should be continued. Incised or engraved pavers in the sidewalk would be a simple and inexpensive way to mark other heritage buildings in the District, without involving private property.
- Ongoing public awareness of the District will be reinforced if local promotion and special events publicity makes mention of the heritage character of Pickering Village, and the existence of a Heritage District. An annual or semi-annual Heritage District newsletter, inserted in the local newspaper, might also be a cost-effective way to boost heritage awareness in the Town.

8.0 Implementation

8.8 Application Checklists

The following checklists are provided to assist applicants in obtaining permits, and to assist staff in conducting pre-review and evaluating the applications.

8.8.1 Heritage Permit Checklist

For minor work, not ordinarily requiring a Building Permit:

- Inspect the property description in the HCD Property Inventory. Make note of any comments that indicate needed maintenance and repair of heritage attributes. Proper maintenance and repair is the primary means of protecting the heritage character of the District. Applicants are strongly encouraged to include necessary maintenance tasks at the first opportunity.
- Show results of any historical research. For example: provide copies of historic drawings or photographs when replacing or restoring elements such as windows, signs, and awnings.
- Read and understand any required technical material. For example: obtain a copy of the relevant Preservation Brief document, as listed in Section 9.3.2.
- Read and understand the relevant Policies (Section 6) and Guidelines (Section 9) in this Plan.
- In the case of more substantial work under a Heritage Permit, provide drawings that demonstrate compliance with the Policies and Guidelines of this plan and with other by-laws, such as the Sign By-law. Show proposed work at a suitable scale.

8.0 Implementation

8.8.2 Heritage Permit with Building Permit Checklist

For additions, renovation, and restoration:

- Inspect the property description in the HCD Property Inventory. Make note of any comments that indicate needed maintenance and repair to heritage attributes. Proper maintenance and repair are the primary means of protecting the heritage character of the District. Applicants are strongly encouraged to include necessary maintenance tasks at the first opportunity. Also make note of comments that indicate steps that could be taken to restore heritage features or to remove unsympathetic later work.
- Show results of any historical research. For example: provide copies of historic drawings or photographs, or show results of investigation of conditions underlying unsympathetic later work.
- Read and understand any required technical material. For example: obtain a copy of the relevant Preservation Brief document, as listed in Section 9.3.2.

For new construction, additions, renovation and restoration:

- Read and understand the relevant Policies (Section 6) and Guidelines (Section 9) in this Plan.
- Provide all documents ordinarily required for a Building Permit. Depending on the type of work being proposed, additional documents should include:
 - Specifications of materials to be used that are visible from the exterior
 - Elevations of all sides of the building where work is being undertaken
 - Elevations and details of storefronts

All drawings should be provided at a scale suitable to the level of detail. Heritage Staff may require additional documentation for work on significant heritage properties.

- For projects that also require Site Plan Approval, include copies of approved drawings from the Site Plan Approval process.

8.0 Implementation

8.8.3 Heritage Permit with Site Plan Review Checklist

- Read and understand the relevant Policies (Section 6) and Guidelines (Section 9) in this Plan.
- Provide all documents ordinarily required for a Site Plan Approval. These are listed in the Town of Ajax Site Plan Review Manual, available on-line at: www.ajax.ca (Search for Site Plan Review Manual).
- In addition, for heritage review: provide an eye-level perspective, including adjacent buildings. This perspective, and the elevations required in the Site Plan Review Manual should be “rendered” so that coursing, projecting elements, and textures are truly represented. Provide photographs of adjacent buildings for comparison with elevations and perspectives. Provide photographs of nearby heritage buildings of a similar type, to demonstrate the architectural sympathy of the proposed building.
- Provide a Heritage Impact Statement in compliance with Section 2.6.2.1 (c) and Section 5 (e) of the Town of Ajax Official Plan.



Kingston Road, 1932, showing the Drug Store, behind the two trees on the right. Photograph from the Ajax Archives

9.0 Guidelines for Buildings and Surroundings

Overview

In its history and character, Pickering Village is a distinct place in the larger municipality of the Town of Ajax. The Town has recognized this special character by creating the Pickering Village Heritage Conservation District.

The purpose of these Design Guidelines is to help maintain the historic qualities that make up that sense of distinctness. They are intended to clarify and illustrate, in a useful way, the recognizable heritage characteristics found in the Village. They will serve as a reference for anyone contemplating alterations or new development within the Heritage Conservation District.

The Guidelines examine the past in order to plan for the future. They recognize that change must and will come to Pickering Village. The objective of the Guidelines is to ensure that change is complementary to the heritage character that already exists, and enhances, rather than harms it.

Guidelines:

- The Guidelines are intended to provide guidance for the design and execution of work in the District, in order to preserve and enhance the existing heritage character of Pickering Village.
- It is recommended that design professionals with experience in heritage design and restoration be retained for work on significant heritage buildings in the District.



View east on Kingston Road. The building with the awning is Monney's Bakery. Undated photograph from the Ajax Archives.

9.0 Guidelines for Buildings and Surroundings

The character of Pickering Village consists of many elements: Significant natural features include the open spaces connected with Duffins Creek and the Methodist Cemetery, and the mature urban forest.

Significant cultural elements include the informal village plan, with its varied lot sizes and setbacks, rich planting, and almost 150 years of architectural history. The historic buildings serve to define the heritage character of the village.

These Design Guidelines are based on the concepts of preserving the existing heritage buildings, maintaining their character when they are renovated or added to, and ensuring that new development respects the qualities of place established by the existing heritage environment.

The Guidelines begin with a handbook of the architectural styles found in Pickering Village. Over the years, many buildings have lost original detail such as trims, doors, and windows. The style book will be helpful to owners who want to restore original character, or who want to maintain what remains. It will assist in designing additions that respect the original style of the building. And it will provide a basis for authentic local historic references in the design of new buildings.

The stylebook is also a tool for looking at the existing heritage buildings, which offer the best guidelines of all: they are full-scale and in three dimensions. The best test of new work in the Village is whether or not it shows “good manners” towards its heritage neighbours and its neighbourhood.

The design Guidelines are divided into the following sections:

- 9.1 Architectural Styles pg. 45**
- 9.2 Heritage Design & Details pg. 60**
- 9.3 Existing Heritage Buildings pg. 75**
- 9.4 Existing Non- Heritage Buildings pg. 89**
- 9.5 New Development pg. 91**
Residential Areas pg. 92
Commercial Area pg. 96
- 9.6 Streetscape Work pg. 106**
- 9.7 Landscapes pg. 114**
- 9.8 Building Materials Checklists pg. 116**

9.1 Architectural Styles

Architectural style means the identifying characteristics of construction as it has evolved under the force of changing technology and fashion. Before the industrial age, often minor details were custom-made for each building and it would be hard to find even two identical front door designs from the early 19th century.

Nonetheless, each period produced buildings that shared a design vocabulary, including elements of massing, composition, proportions, window and door details, and decorative elements. This section shows the principal styles that have appeared in Pickering Village, both heritage styles and more recent ones. This section is necessarily brief and does not replace the real research needed for authentic work, as described in Section 9.3.2.

In the Guidelines that follow, reference is made to architectural styles for all types of buildings in Pickering Village: existing heritage buildings, existing non-heritage buildings, and new development. The following pages show the characteristics of the local architectural styles.

Guideline:

Additions and alterations to an existing heritage building should be consistent with the style of the original building. New developments should be designed in a style that is consistent with the vernacular heritage of the community. All construction should be of a particular style, rather than a hybrid of many styles. Recent developments have tended to use hybrid designs, with inauthentic details and proportions; for larger homes, the French manor or *château* style (not indigenous to Ontario) has been heavily borrowed from. These kinds of designs are not appropriate for Pickering Village.

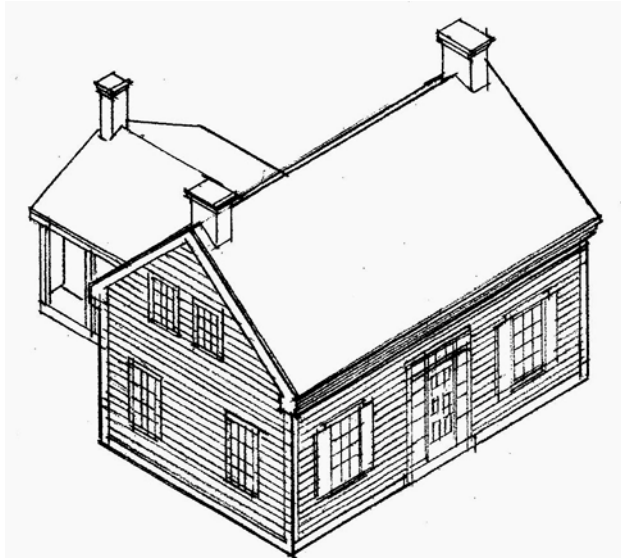
9.1 Architectural Styles

9.1.1 Heritage Styles Residential Buildings

VERNACULAR “LOYALIST”
COTTAGE
1800-1850

Kitchen Tail often added later, sometimes with a side porch.

Fieldstone foundations



Brick chimneys, sometimes central

4” wood clapboard siding with wood corner boards; Brick or stone in some areas.

Wood fascia and eaves.

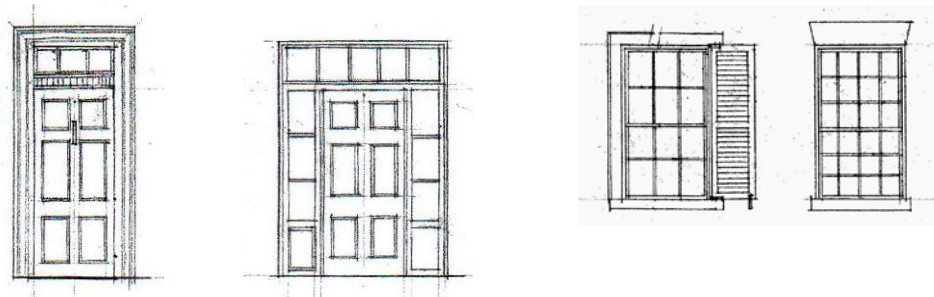
Symmetrical façade; central door with transom and/or sidelights.

Wood windows, double hung, 6 over 6 or greater.

Optional wood shutters.

The first of rural Ontario’s two ubiquitous styles, the other being the Ontario Gothic Vernacular. The 1-1/2 storey design avoided the heavier taxation applied to 2-storey houses.

Typical Design Elements: for more information see Section 9.2



59A Old Kingston Road

9.1 Architectural Styles

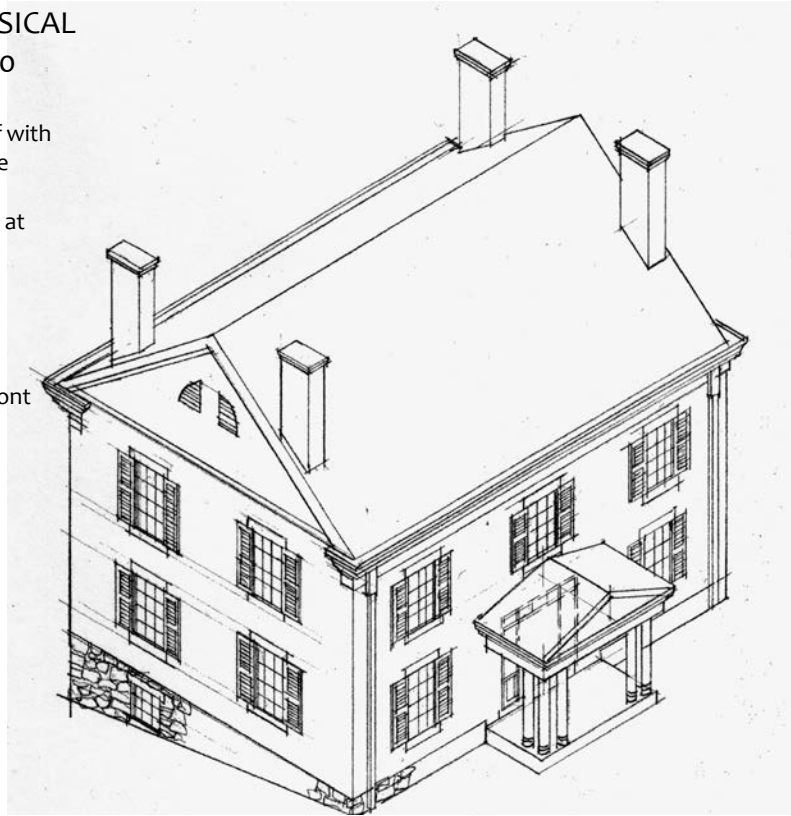
NEO-CLASSICAL 1800-1830

Side gable roof with moderate slope

Brick chimneys at side walls

Fieldstone Foundation

Symmetrical front elevation



Usually brick or stone construction, less often wood clapboard.

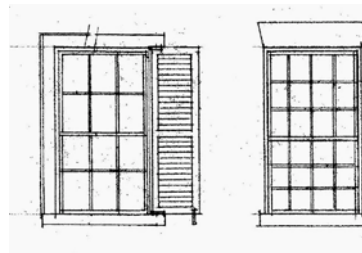
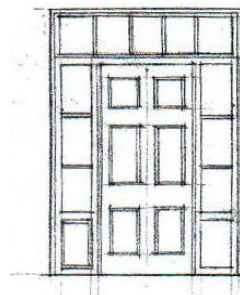
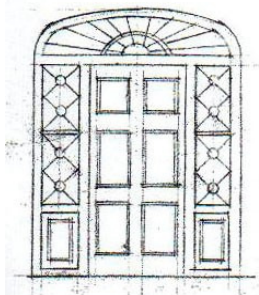
Wood double-hung windows, often 12 over 12, tending to be larger than in Georgian style.

Classical details, such as pilasters at the corners, and “temple front” porch with classical columns.

Entry with sidelights and transom, often a fanlight. Classical surround is common.

9.1.1 Heritage Styles Residential Buildings

Typical Design Elements: for more information see Section 9.2



22 Linton Avenue

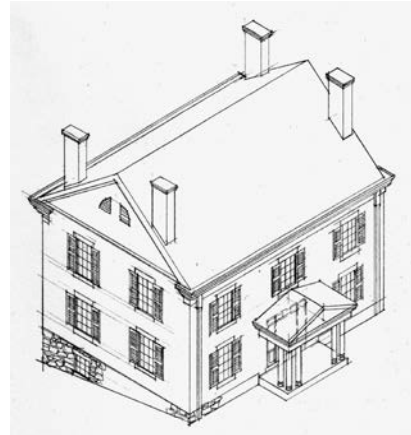
9.1 Architectural Styles

19th CENTURY ECCENTRIC
1850

9.1.1 Heritage Styles Residential Buildings



=



Original Neo-Classical House

+



Neo-Moghal style additions.
This is Sezincote House, in
Gloucestershire, England

The Music Building at 100 Old Kingston Road is an example of the eccentricity that sometimes appeared in 19th-century architecture. It is an entirely unique building—there’s nothing quite like it anywhere.

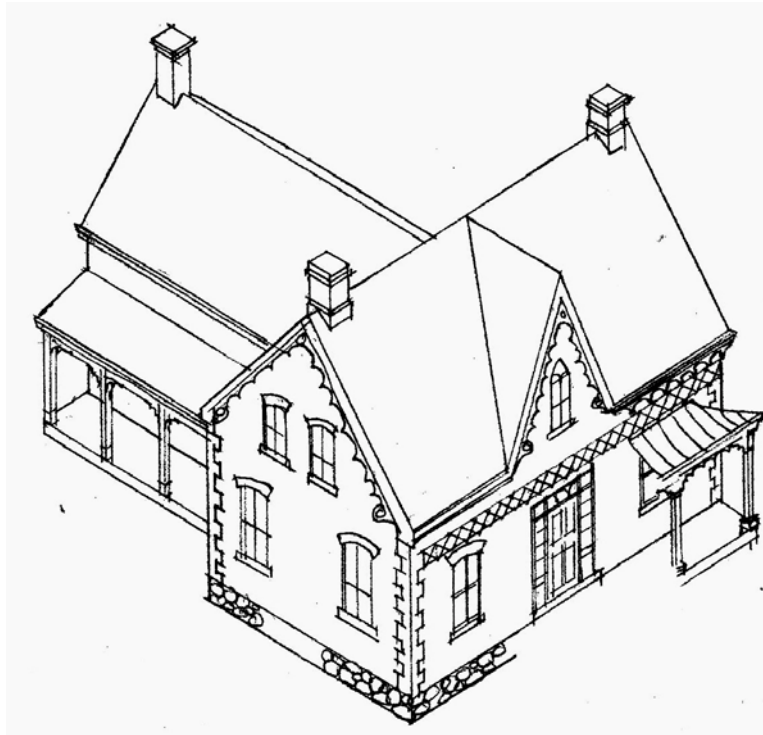
The original building appears to have been a 5-bay Neo-Classical house. The house at 90 Old Kingston Road appears to have had similar original bones. Where No. 90 suffered ‘modernization’ in the mid-20th century, No. 100 had a 19th century alteration of a very special character.

At this date, it is impossible to be sure of the origin of the twin onion domes that were added to the front façade. We know that Neo-Moghal architecture was popular in England in the early 19th century. Sezincote House, built in 1805, was the first prominent example. It was designed by Samuel Pepys Cockerell for his brother George, after they returned from service in the East India Company. It inspired the larger and more ornate Royal Pavillion in Brighton. How this inspiration made its way to Pickering Village must remain a mystery.

9.1 Architectural Styles

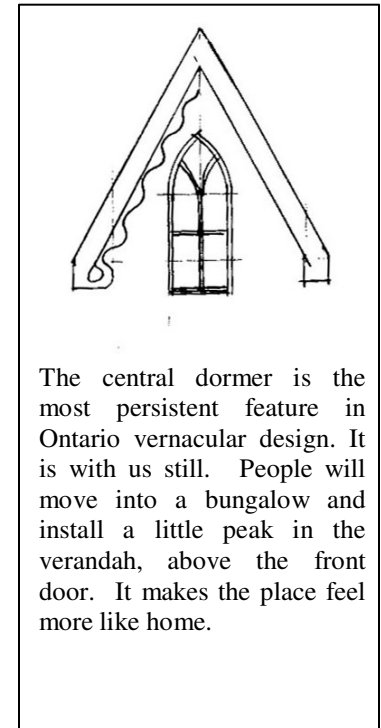
ONTARIO GOTHIC COTTAGE 1830-1890

- Kitchen Tail with room over.
- Wood side porch with sheet metal roof.
- Wood porch posts with decorative brackets.
- Fieldstone foundations.
- Red brick masonry with buff brick detailing—sometimes the reverse (polychromy).
- Optional front verandah, often with bell-cast roof.



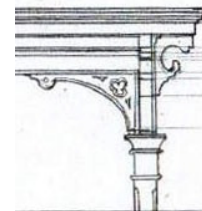
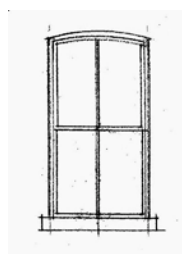
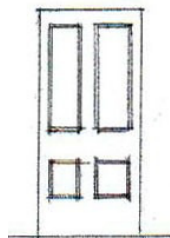
- Brick chimney, corbelled polychrome.
- Steep roof with “gingerbread” trim at gables; wood shingles or sheet metal roofing; Pointed ‘gothic’ window in central dormer gable.
- Archetypal Ontario Gothic house, 1 ½ storeys, commonly brick construction, but also built of stone, stucco, and board and batten wood siding.
- Symmetrical façade; central door with transom and/or sidelights.
- Segmental arch wood windows, double-hung, 2 over 2.

9.1.1 Heritage Styles Residential Buildings



The central dormer is the most persistent feature in Ontario vernacular design. It is with us still. People will move into a bungalow and install a little peak in the verandah, above the front door. It makes the place feel more like home.

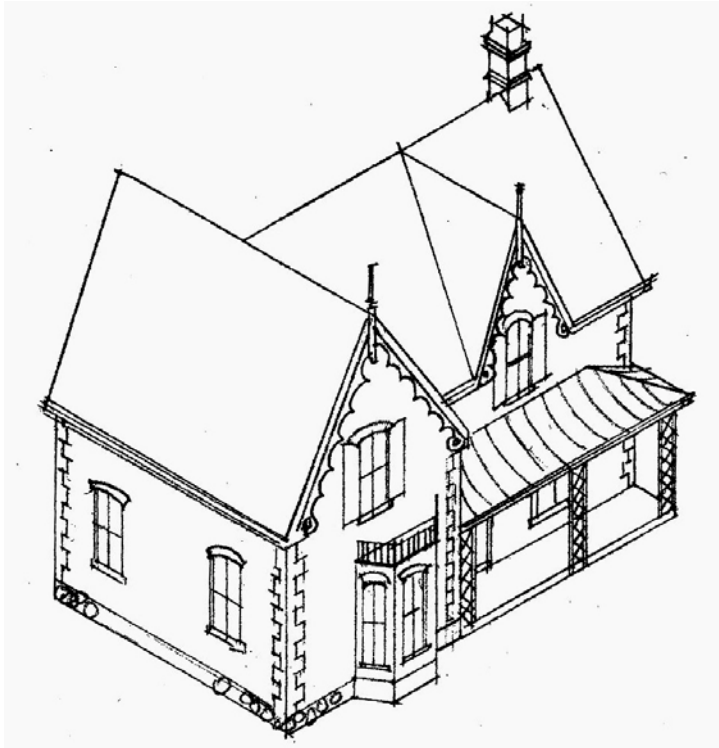
Typical Design Elements: for more information see Section 9.2



22 Church Street North

9.1 Architectural Styles

VICTORIAN VERNACULAR
1850-1880



Brick chimney, corbelled polychrome.

Steep roof with “gingerbread” trim at gables; wood shingles or sheet metal roofing; Pointed ‘gothic’ window in central dormer gable.

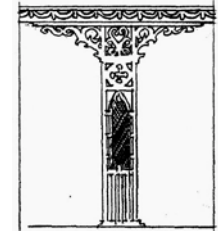
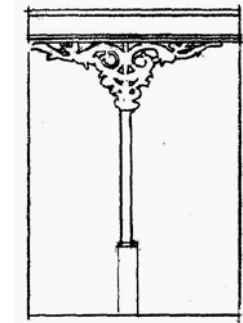
Polychrome brick construction or board and batten siding (Carpenter Gothic).

Asymmetrical façade, main front-gabled bay often has a bay window.

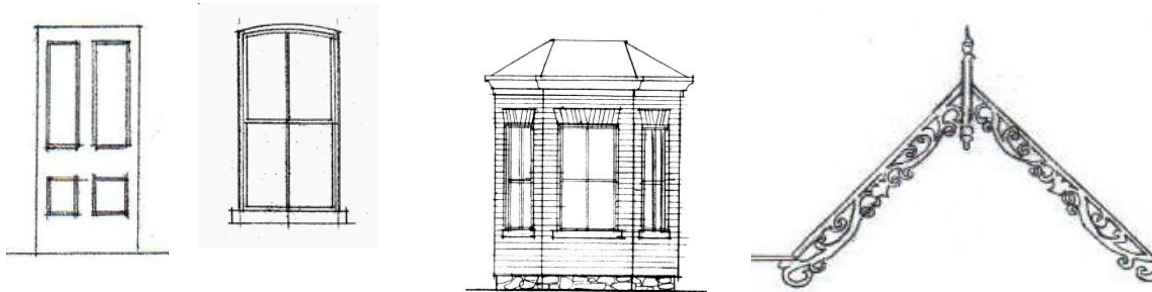
Segmental arch windows, 2 over 2; optional shutters.

Verandah with wood posts and decorative brackets, or trelliage.

9.1.1 Heritage Styles Residential Buildings



Typical Design Elements: for more information see Section 9.2



28 Church Street North

9.1 Architectural Styles

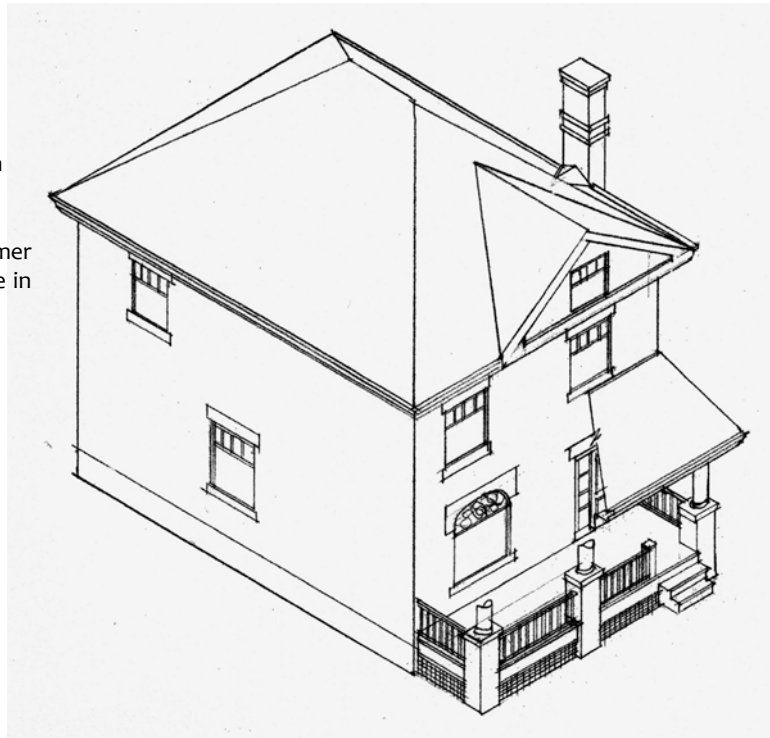
Edwardian
Classic
1900-1920

Low-slope hipped
'cottage' roof with
asphalt shingles

Hipped-roof dormer
or low-slope gable in
attic.

Non-symmetrical
Plan and Façade.

Concrete Block
Foundations



Brick construction.
Elaborate brickwork.

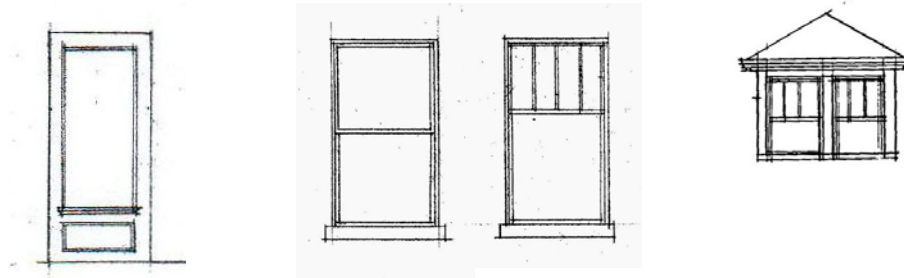
Wide wood double-
hung windows, often
6 over 1
or 4 vertical over 1.
"cottage style".

Wood verandah with
classical columns on
brick piers

Main front room
window with
decorative transom
often with leaded
and/or stained glass.

9.1.1 Heritage Styles Residential Buildings

Typical Design Elements: for more information see Section 9.2



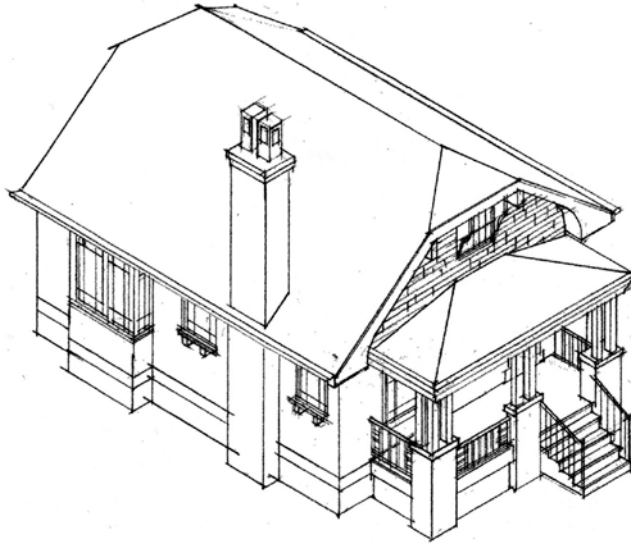
9.1 Architectural Styles

ARTS AND CRAFTS 1900-1930

Gable or “Jenkins-head” (partially hipped) roof.

Bay windows tend to be square.

Brick or Concrete Block Foundations



1 or 1-1/2 storey house.

Brick ground floor construction is common, with gable ends of cedar shingles

Asymmetrical plan, with entrance to one side.

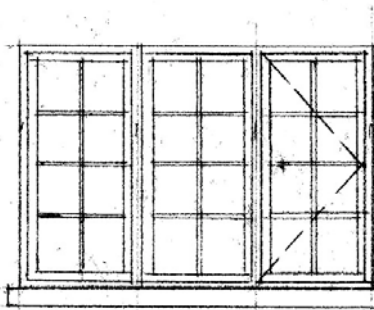
Wood double-hung windows. Elaborate glazing patterns, sometimes leaded.

Verandah is a dominant design feature.

Rafter tails often exposed, and cut into decorative shapes.

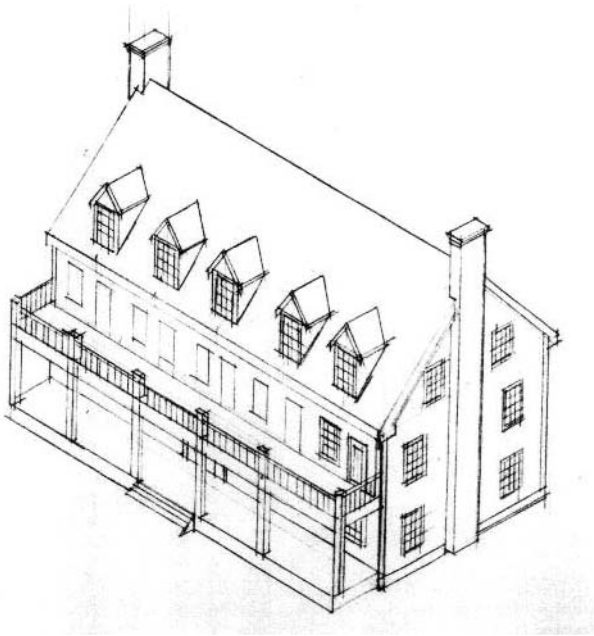
9.1.1 Heritage Styles Residential Buildings

Typical Design Elements: for more information see Section 9.2



9.1 Architectural Styles

HOTELS AND INNS 1850-1880



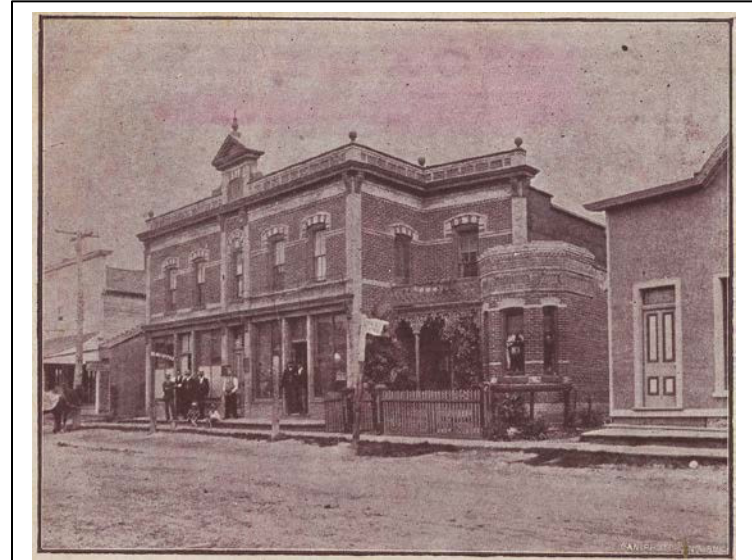
Usually 2 or 3 storeys with full width front porch – commonly with balconies above.

Usually frame construction in villages, sometimes brick in larger towns.

Side-gable roof was most common, with optional dormers.

Usually there was a stable alongside, for the travellers' horses and wagons.

9.1.2 Heritage Styles Commercial Buildings



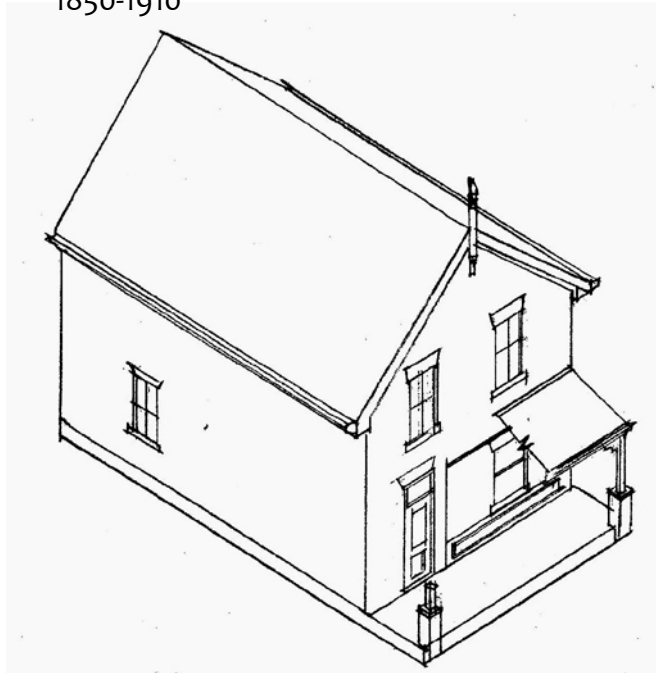
The Dale Block was originally built as a hotel around 1850. It was converted to a store and residence by Edmund Wright in 1874. Photo from the Ajax Archives.



103 Old Kingston Road

9.1 Architectural Styles

VERNACULAR VILLAGE SHOP 1850-1910



Usually a front-gabled frame building, similar to a homestead house. Often built with a false-front (boomtown style).

Typically built with shop below and living quarters above or behind.

Display window ranged from a slightly wider ordinary window, to a full-fledged shop front as found in town shops.

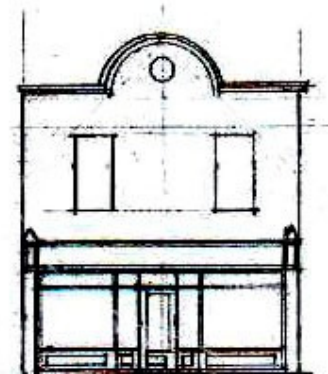
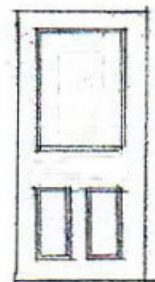
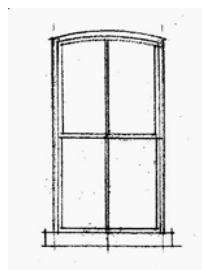
Front porch, perhaps with sign on top, was very common.

9.1.2 Heritage Styles Commercial Buildings



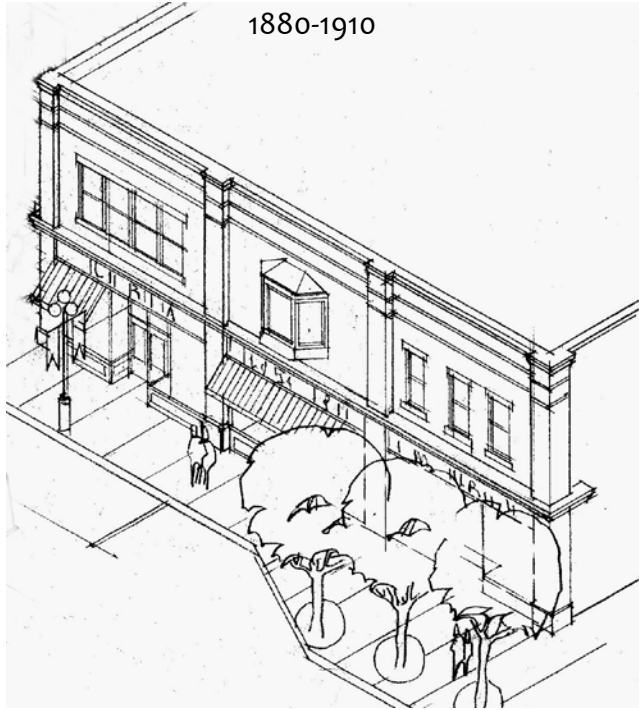
62 Old Kingston Road. A false front on a gabled village building shop mimics the form of a town shop.

Typical Design Elements: for more information see Section 9.2



9.1 Architectural Styles

VERNACULAR TOWN SHOP 1880-1910



Two to three-storey buildings.

Early town shops might be wood-framed, but brick construction was more common by 1880, after many town fires throughout Ontario.

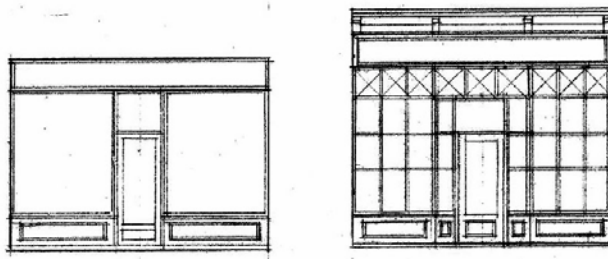
Built with uniform frontage at the street line.

Usually with flat roofs, sometimes with shallow side gable design.

Taller ground floor with high display windows and full-width sign fascia above. Large retractable awnings.

9.1.2 Heritage Styles Commercial Buildings

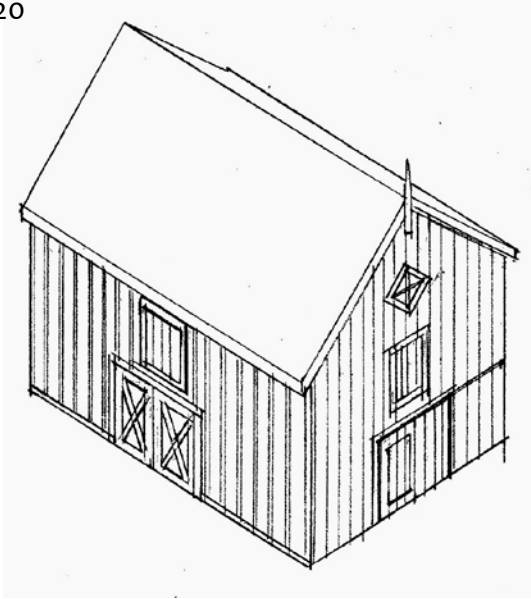
Typical Design Elements: for more information see Section 9.2



76-78 Old Kingston Road

9.1 Architectural Styles

GABLE- ROOFED TOWN-BARN OR
STABLE SHOP
1850-1920



High-slope roof, wood shingle or sheet metal.

Timber frame with vertical wood siding, often slightly spaced for ventilation. Sometimes board and batten.

Upper loading door for hayloft. Sliding or hinged main lower doors, often with a smaller “man door” within it.

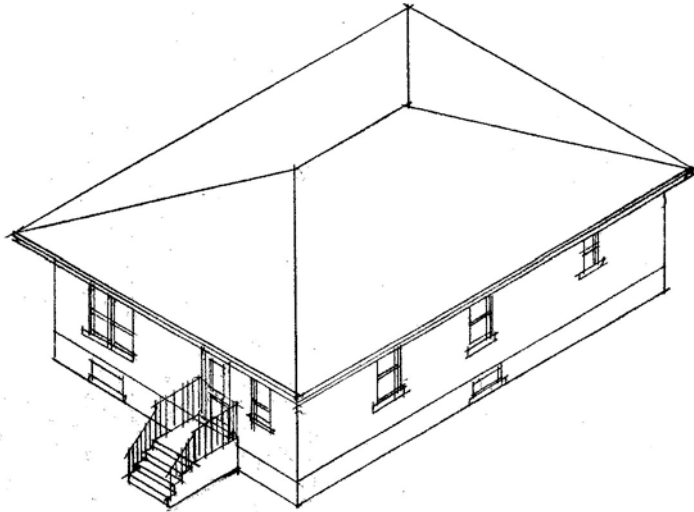
9.1.3 Heritage Styles Agricultural Buildings



Barn behind 76-78 Old Kingston Road

9.1 Architectural Styles

VERNACULAR
BUNGALOW
1900-1955

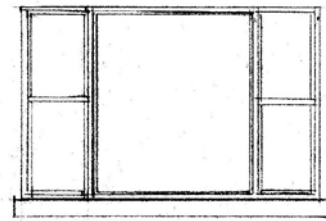
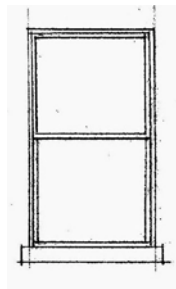


Usually of brick construction.

Wood double-hung windows, usually 1 over 1. Sometimes paired. Living room often had a “picture” window, with a wide fixed-glass window flanked by 2 narrow double-hung windows.

9.1.4 Non-Heritage Styles Residential Buildings

Typical Design Elements: for more information see Section 9.2



9.1 Architectural Styles

RANCH HOUSE 1950-1975

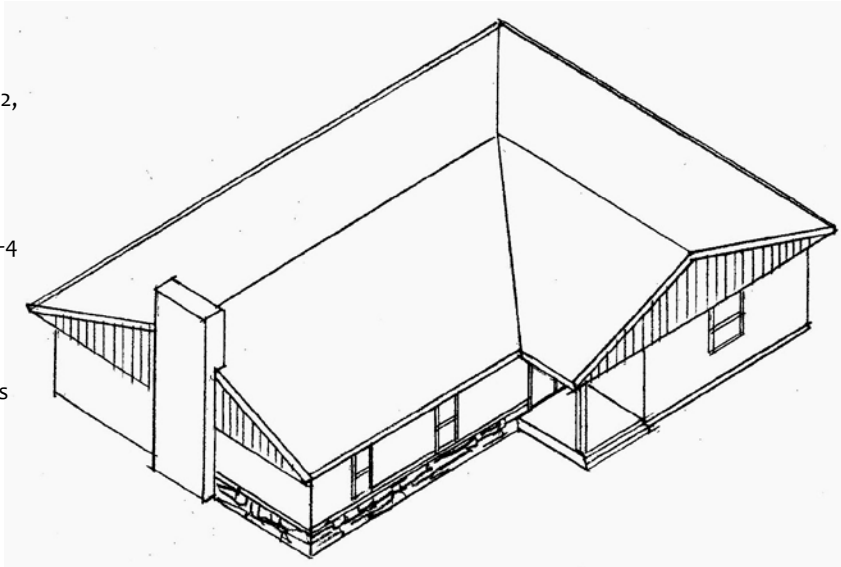
Low slope roof, 4:12, hipped or gabled.

Asphalt shingles.

Wide eaves, with 2-4 foot overhang.

Large chimney.

Often accent bands of stone or 'angel' stone.



One-storey, informal plan.

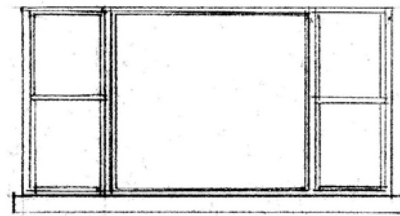
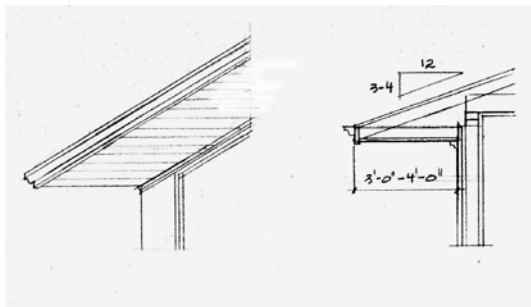
Garage or carport usually attached.

Usually brick veneer on frame construction.

Large fixed picture windows in principal rooms, flanked by operable windows: double hung or casement.

9.1.4 Non-Heritage Styles Residential Buildings

Typical Design Elements: for more information see Section 9.2



11 Elizabeth Street

9.1 Architectural Styles

POST MODERN
ECLECTICISM
1980 TO PRESENT

Large high-sloped roof.

Usually two storeys high.

Elaborate chimneys are common.



Architectural elements borrowed from a variety of historical styles.

Elements are typically exaggerated in scale, particularly entrances, fanlights, and porches.

Mixture of materials: stone base with brick or stucco above is common.

Attached or built-in garages are common.

9.1.4 Non-Heritage Styles Residential Buildings



14 Elizabeth Street

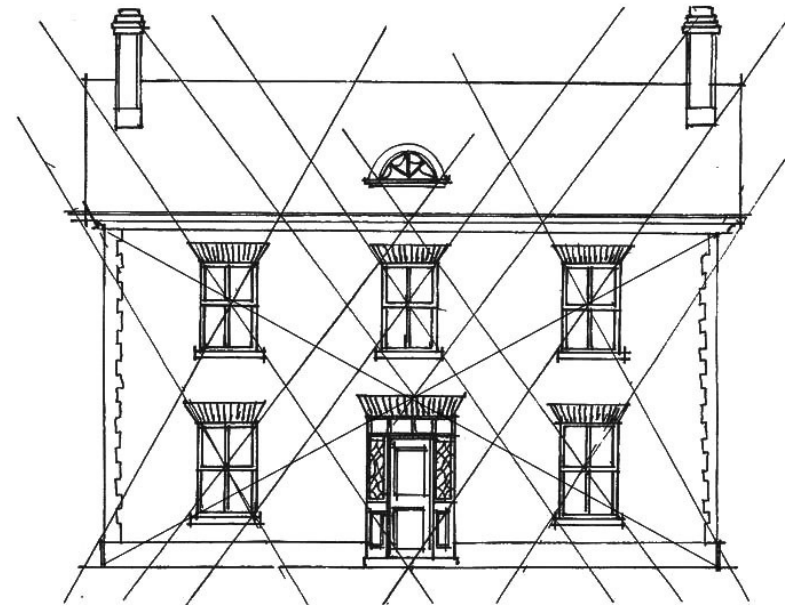
9.2 Heritage Design and Details

9.2.1 Introduction

The purpose of this Section is to provide further information and guidance about the design and construction of heritage buildings.

9.2.2 Composition

The elevations of heritage buildings, whether designed by an architect or by a builder using a “pattern book”, were usually laid out using geometrical principles and geometrically derived proportions. Knowledge of how heritage buildings were originally composed can be helpful in designing a new building that will fit well in the heritage context. Helpful sources of information are listed in Section 10.



Geometry governed most heritage design. In this example, from Black Creek Pioneer Village, the diagonals of the window openings relate to significant elements in the elevation and to each other. The diagonals of the main wall relate to the windows and front-door keystone, as well.

If a building is pleasing to the eye, it is probably rich in such relationships.

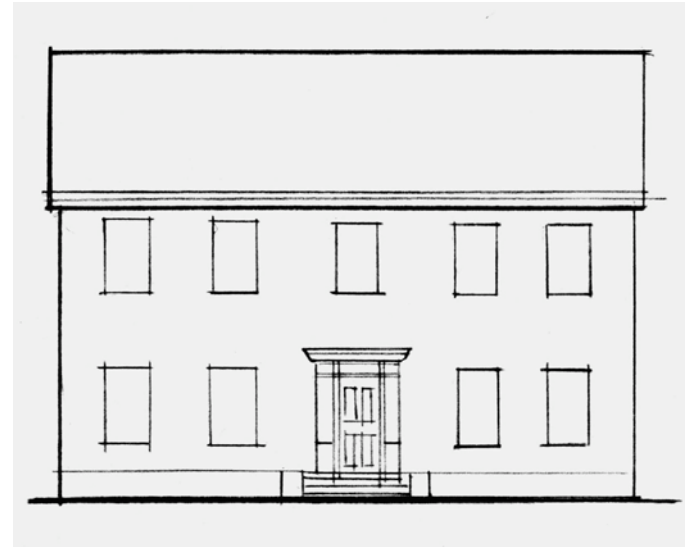
Drawing by Steven Bell.

9.2 Heritage Design and Details

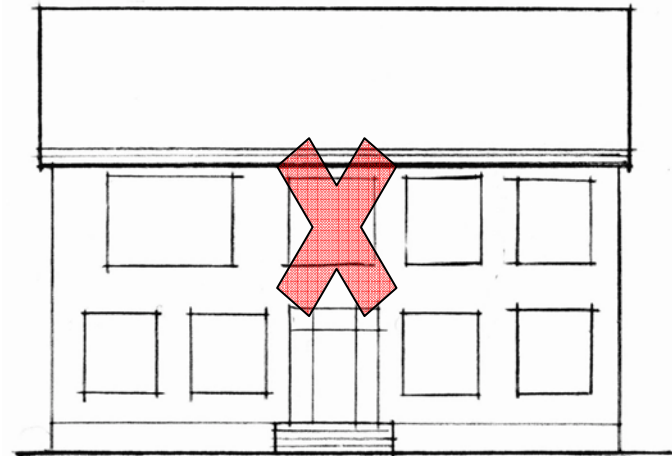
9.2.2 Composition Cont'd

The proportion of windows to walls and the proportions of individual window openings and window panes are an important aspect of composition.

Traditionally, windows are between 15 and 20 percent of a wall, and windows are taller than they are wide, usually with a ratio of 2:1 or more. In most heritage styles, individual window panes are also taller than they are wide.



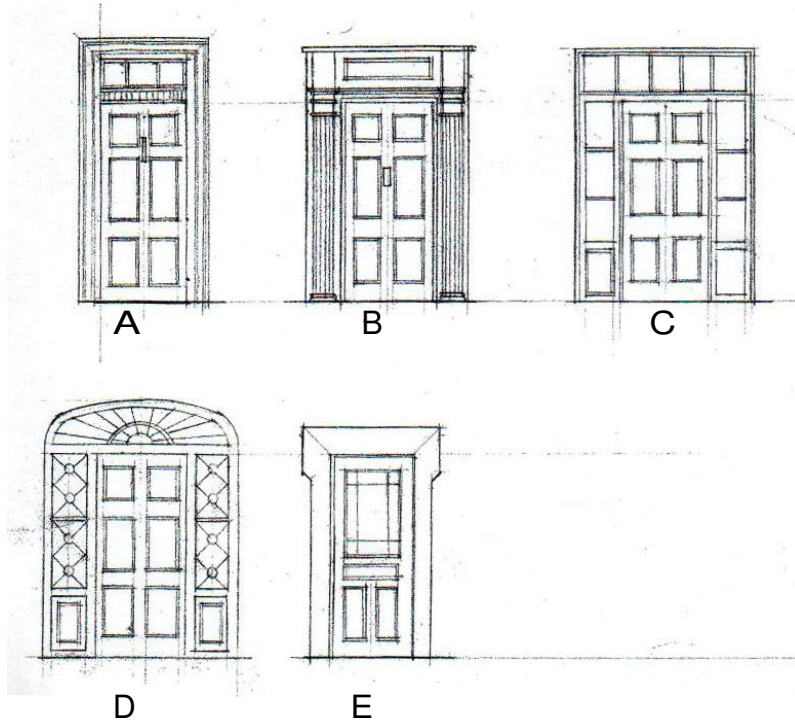
Appropriate: 15 to 20% opening is historically correct.



Inappropriate: 30 to 40% is excessive.

9.2 Heritage Design and Details

9.2.3 Entrances and Doors



Appropriate Designs

Entrances in heritage buildings are usually provided with some elaboration. In the simplest Georgian cottages this might only consist of fluted casings and a simple cornice, but a plain transom above the door was common.

Later styles made use of sidelights as well, which always had solid panels below the glazing.

The proportional scheme of the building governed the design, so that even ornate entrances did not overwhelm the building.

Entrance doors were not glazed until the Victorian era.

- A. Solid panel door with transom and wood casing.
- B. Solid panel door with classical cornice.
- C. Solid panel door with transom and sidelights.
- D. Solid panel door with decorative sidelights and fanlight transom.
- E. Wood panel door with decorative glazing and eared casing.

9.2 Heritage Design and Details

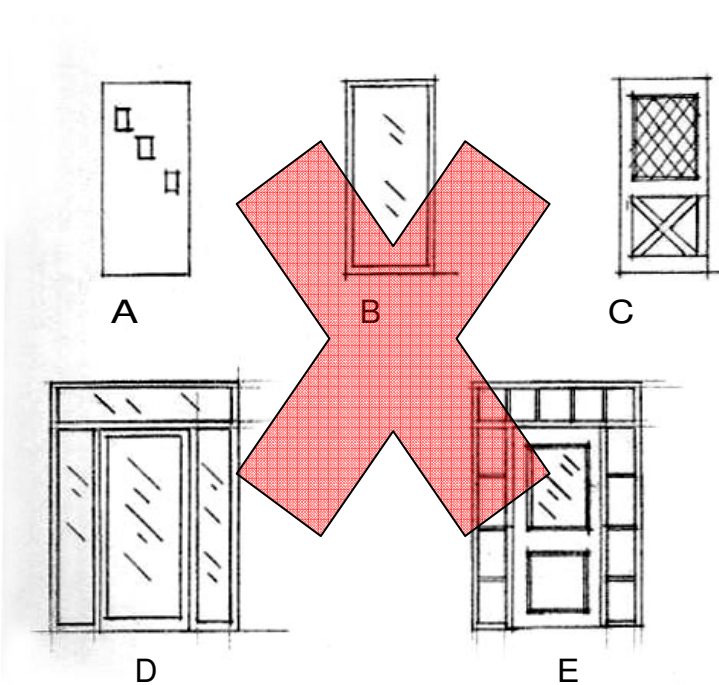
9.2.3 Entrances and Doors Cont'd



Inappropriate Designs

Modern door designs are not appropriate in heritage buildings, even when tricked up as “heritage” items.

Entrance systems like the one shown in the photograph are readily available and commonly installed. Although the basic proportions of this example resemble a Neo-Classical entry, the glazing is over-elaborated with coloured and frosted glass, and the glazing lead is represented by gold-coloured plastic or metal. Neither the glazing or the leading are authentic.



Door A is a post-World War II design.

Door B is a modern metal framed door.

Door C pretends to be “rustic” but is not authentic to any style.

Door D is a modernized version of a classical entry.

Door E has a glazed door, which is not appropriate to the classical design of the entrance, and has glazing, rather than raised panels in the bottom frames of the sidelights.

9.2 Heritage Design and Details

9.2.3 Entrances and Doors Cont'd

Appropriate Designs

Log-cabin pioneers built simple plank doors, such as you would find on a barn, but as soon as skilled workers became available, doors were built in frame-and-panel construction.

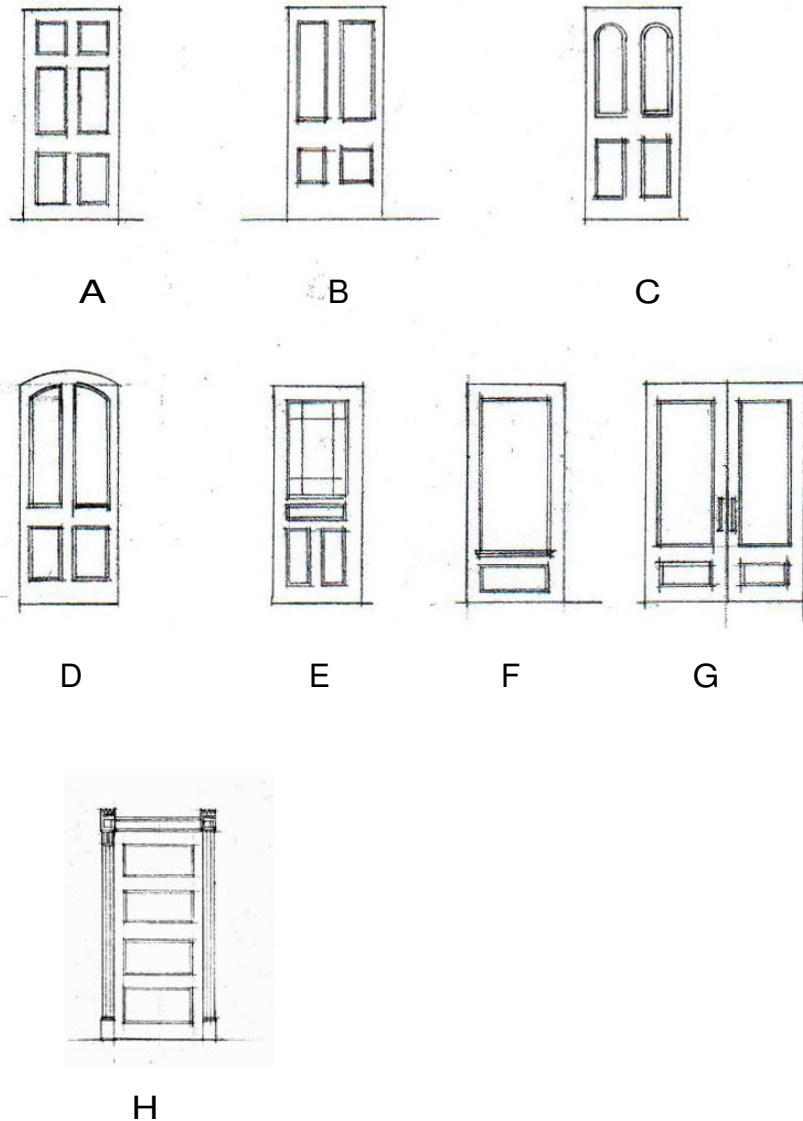
Georgian doors tended to have 6 panels. The example shown at the top left is called a 'Cross and Bible' door, because the rails between the top four panels form a cross, and the two panels below are said to be an open book.

Later styles used 4-panel doors, with very tall top panels. These provide a vertical emphasis, in keeping with the Gothic Revival, Victorian Vernacular, and Italianate styles.

In the late 19th and early 20th centuries, the horizontal emphasis of Edwardian and Arts and Crafts styles led to doors with horizontal "ladder" panelling.

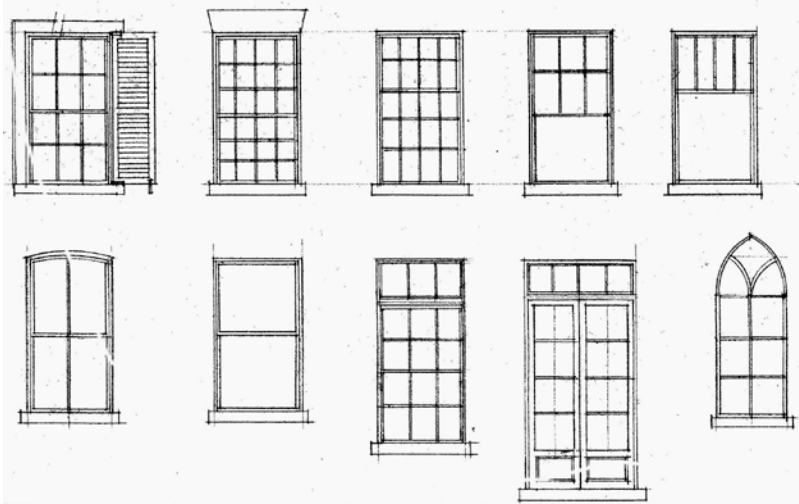
When large pieces of glass became available, around 1850, doors began to be glazed. In the simplest case, the two upper panels of a 4-panel door would receive glass, but the ability to glaze the full width of a door led to a variety of panel designs.

- A. Cross and Bible Door
- B. Four Panel Door
- C. Arched Panel Four Panel Door
- D. Arched-head Four Panel Door.
- E. Glazed Wood Panel Door.
- F. Glazed Wood Shopfront Door.
- G. Paired Glazed Wood Shopfront Door.
- H. Four Panel "Ladder" Door

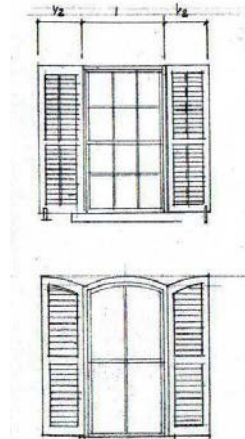


9.2 Heritage Design and Details

9.2.4 Windows and Shutters



Shutters were provided to secure windows from storms and damage, and they were designed and installed to close the window opening. They are hinged at the window jamb, and each shutter covers exactly half of the opening. Usually they were louvered.



Appropriate Designs

Most heritage styles used double-hung windows. These are described by the number of panes, or lights, in each sash. If there are 6 panes above and 6 below, it's called a 6 over 6, or 6/6 window.

Before around 1850 the size of available panes was small, and the number of lights was large. Typical Georgian windows were 12/12. As glass technology improved, larger glass led to 2/2 and then 1/1 windows.

Later styles, such as Edwardian and Arts and Crafts, made use of both large and small lights, and 6/1 and 8/1 windows became common.

As a general rule, windows had more height than width, and the individual lights shared that vertical proportion. Glass that is wider than it is high is found only in very wide single light sash.

Casement windows appeared in only a few styles. Some Regency windows could be called casements, though they are more like French doors, with sills barely above the floor. The Craftsman style was the first to use what we would call casements today.

9.2 Heritage Design and Details

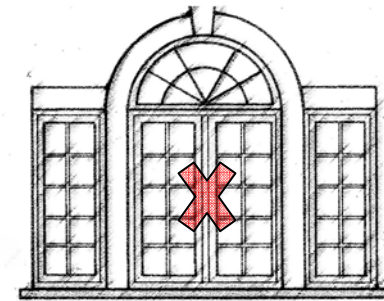
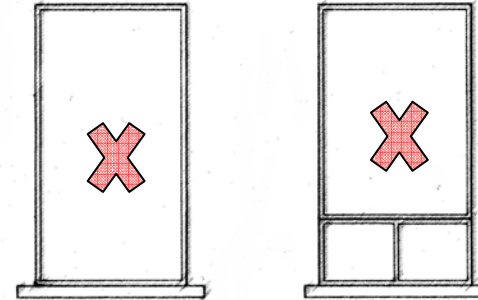
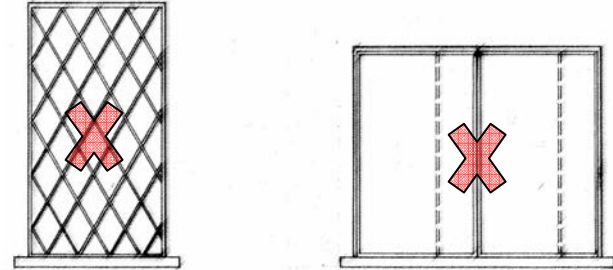
9.2.4 Windows and Shutters Cont'd

Inappropriate Design

Modern window designs are not appropriate in heritage buildings. Diamond panes are not authentic to any local heritage styles. Sliding windows belong to post-World War designs. Large fixed glass windows are modern. The large fixed glass window with small sliders below is popular as the cheapest opening window available. It is not authentic to any style, and it barely provides any ventilation.

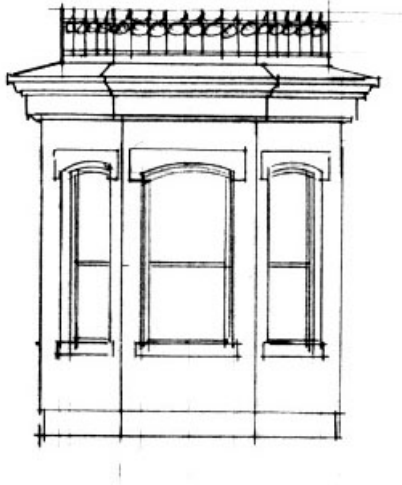
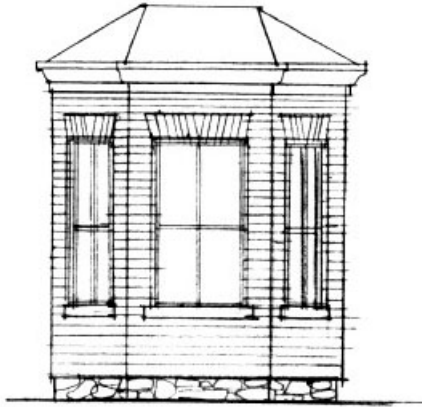
Casement windows appeared in only a few styles. Some Regency windows could be called casements, though they are more like French doors, with sills barely above the floor. The Craftsman style was the first to use what we would call casements today.

The "palladian" window, shown at the bottom, wasn't used in any local heritage styles. In addition, this example uses casement windows, which were not used in historic palladian windows.



9.2 Heritage Design and Details

9.2.5 Bay Windows



Examples of Victorian bay windows.

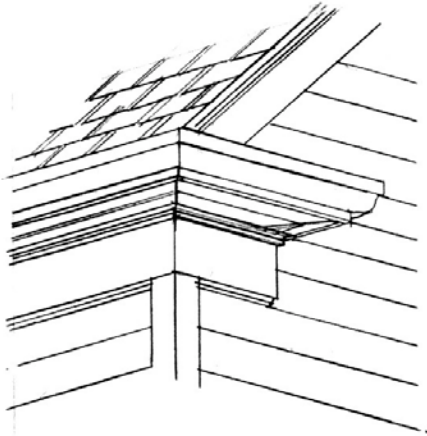
Bay Windows provide visual interest on the exterior and create a well-lighted nook on the interior. They appear on a number of historic styles, but not all. There is a tendency to overuse them in new buildings, when they are not appropriate to the overall architectural style. Care should also be taken to use window shapes and glazing patterns suitable to the overall architectural style.

Most bay windows in most styles are angled, usually at 45 degrees, but the Arts and Crafts style, and some Victorian Vernacular buildings used square bays.

In Pickering Village, bay windows do not seem to have been a common design element. The only original front-wall bay window is at 28 Church Street North. There are side-wall bay windows at 22 Church Street North, and 23 Elizabeth Street.

9.2 Heritage Design and Details

9.2.6 Gable Ends



Classical Styles



Victorian Gothic

The classically-based styles, such as Georgian and Neo-Classical, used fairly plain bargeboards. A plain board, with perhaps a small ogee moulding on the upper edge, was the most common design. The eaves would include a wooden gutter in the shape of a wide ogee-moulding. This shape was later replicated by sheet-metal eaves-troughs. Below this was usually a fascia board, sometimes with additional moulding at the top, or perhaps dentils. The fascia and mouldings typically turned the corner at the gable end as shown in the upper sketch, in what is called an eaves return.

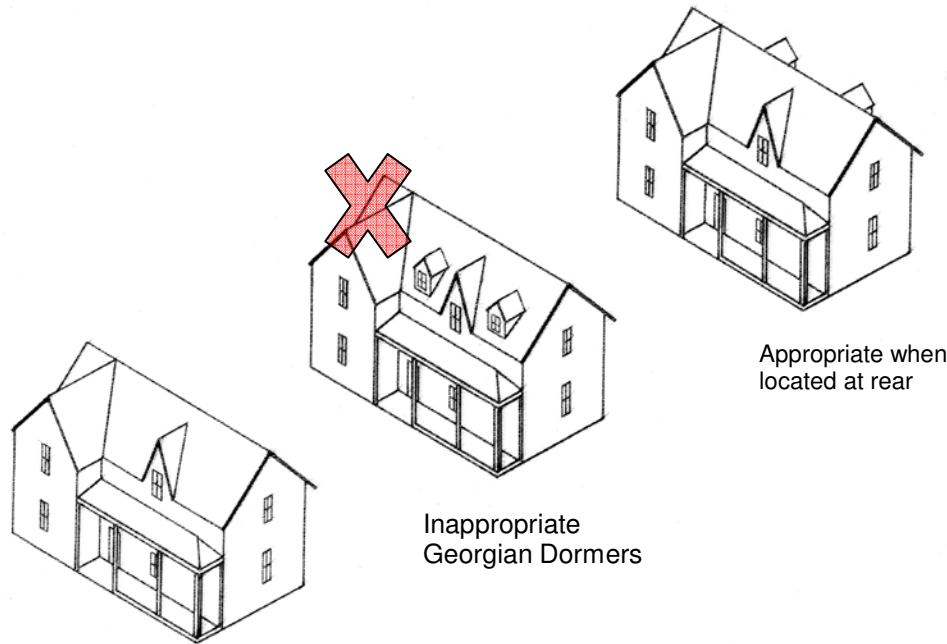
The Victorian Gothic styles used elaborate bargeboards in a wide variety of forms—what has come to be called “gingerbread”. Sometimes these were sinuous shapes cut out on a scroll saw. In other cases pierced patterns were cut into a simpler board. A common feature was a finial at the peak, as shown in the lower sketch. There are often characteristic local styles in Victorian trim, and the “Nun’s Coif” design, seen on 22 Church Street North and 23 Elizabeth Street can be considered a local specialty. But many Victorian houses had plain bargeboards, and restricted decorative embellishment to the fascias and columns of porches.

It is good practice to repair or replace historic gingerbread in the original pattern, using accurate dimensions. Historic drawings or photographs, or nearby local examples can be used as sources for an authentic design.

9.2 Heritage Design and Details

9.2.7 Dormers

Dormers should be in keeping with the architectural style of the building.



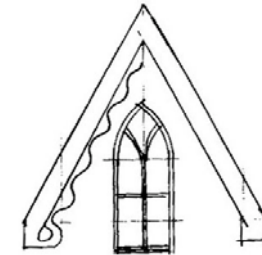
Original Victorian Gothic House

Dormers are an inexpensive way to create more usable space in an attic. But most styles didn't use dormers and large shed dormers—which create the most usable space—are not typical features of any heritage styles. Only Arts and Crafts and California Bungalow styles used shed dormers, and those were usually quite small and shallow.

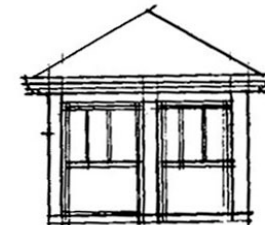
Dormers that are not appropriate to a given style should be placed on the rear, rather than the front, as shown in the sketch above.



Georgian/Classical Styles



Victorian

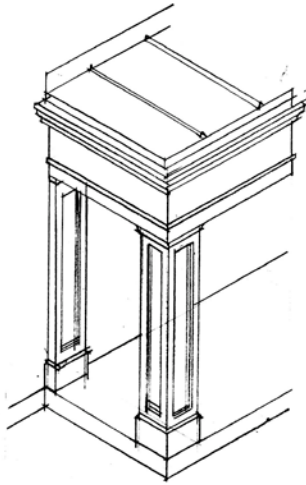


Edwardian

9.2 Heritage Design and Details

9.2.8 Porch Design

Porches and verandahs should be in keeping with the architectural style of the building—with the caveat that porches on historic buildings were sometimes replaced with styles of a later fashion, such as the classical porch that was installed on the Murkar House.

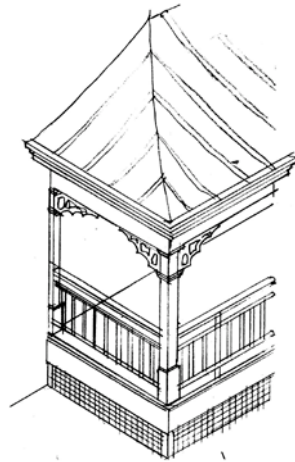


Georgian

Wood columns, round or square classical design.

Columns may be plain or fluted.

Flat metal roof or front-facing pediment.



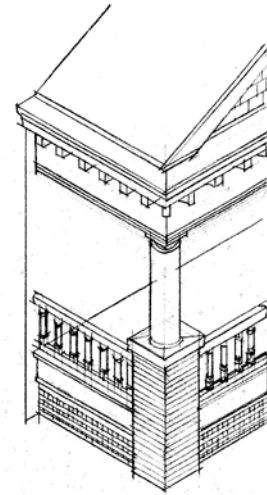
Victorian Gothic

Wood columns, often turned.

Ornate “gingerbread” brackets.

Often with metal roof, often “bell-cast” shape.

Balusters on railing usually square.



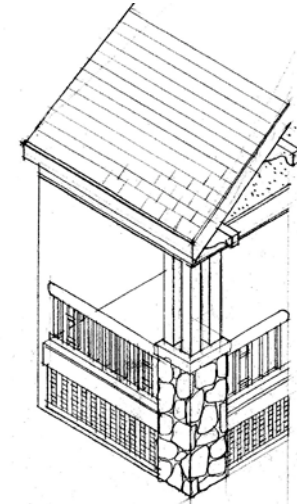
Edwardian Styles

Classical columns on stone-capped brick piers.

Front-facing pediment or hipped shingle roof.

Classical detailing like column capitals and dentils.

Balusters on railing turned or bellied.



Arts and Crafts

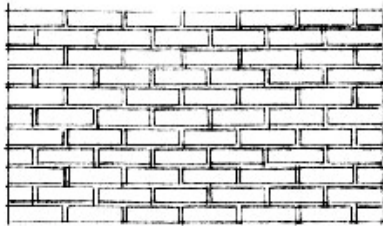
Rustic timber columns, often clustered, often on rubble base.

Sense of exposed carpentry, with exposed joist tails, often cut to form a bracket.

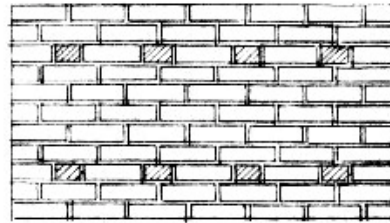
Balusters often installed with thin face outward, often bunched in groups of 2 or 3.

9.2 Heritage Design and Details

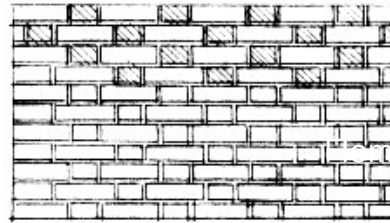
9.2.9 Brickwork



Running Bond



Common Bond

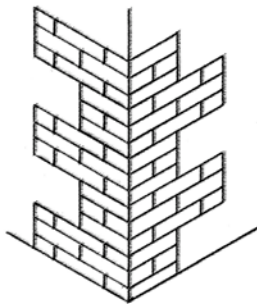


Flemish Bond

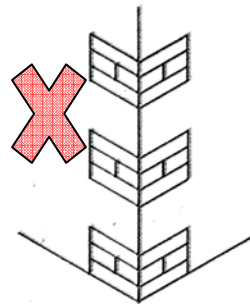
Historic brick walls were solid masonry, and in order to carry the weight of floors and roofs they were two or more bricks thick. It was structurally necessary to tie the inner and outer wythes together, and the simplest and surest way to do this was to put headers across the thickness of the wall at some regular interval. The pattern in which the bricks are laid is called the “bond”.

Modern brickwork is usually a veneer in front of a frame or concrete block structural wall. The veneer is typically tied to the structure with metal ties, and there is no structural need for headers. Because it's quick and easy, the running bond, shown at upper left, is commonly used for modern brick veneer walls.

Historic bonds, which use headers, provide a subtle but lively texture to a wall. The cost of laying one of the historic bonds by using half-bricks to replicate the headers is extremely small, and it is a simple way to maintain heritage character in new construction.



Correct Quoining

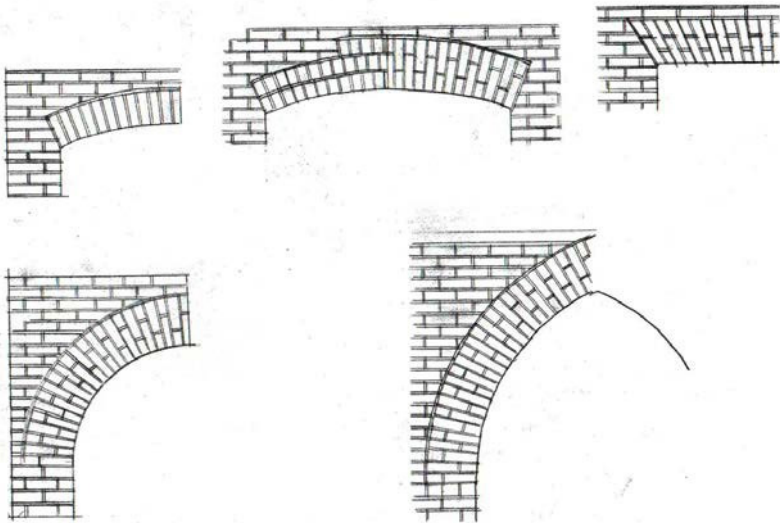


Incorrect Quoining

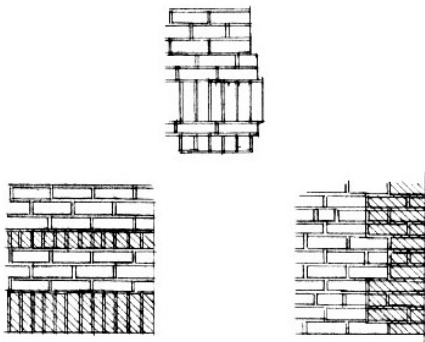
Brick quoins imitate larger stone quoins, which interlock to strengthen the corner of a building. A quoin block has a short side and a long side, and brick quoins should be laid in the same form, as shown in the sketch on the left. The sketch on the right shows what not to do.

9.2 Heritage Design and Details

9.2.9 Brickwork Cont'd



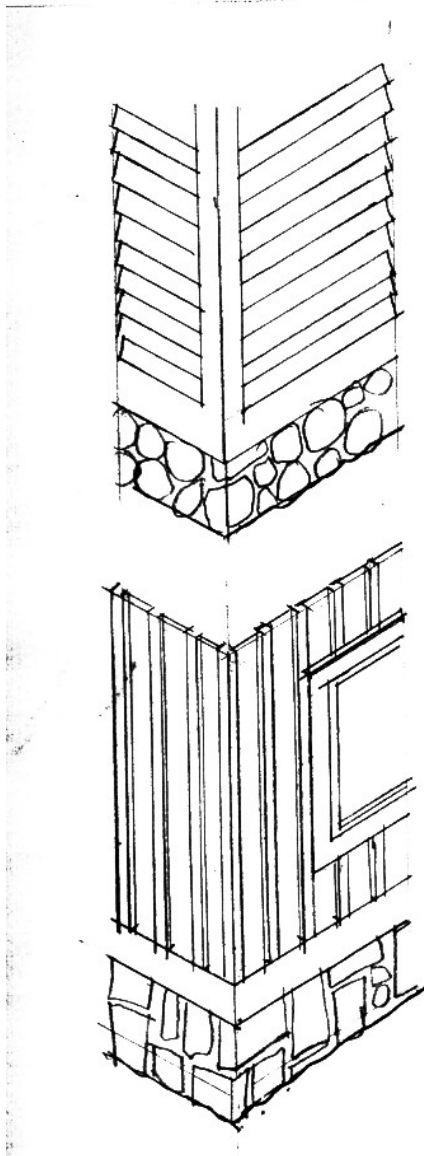
Before the use of iron and steel in construction, lintels over structural openings in brick walls were either solid stone or brick arches. Modern construction commonly uses steel lintels, hidden by the brickwork. To create an authentic appearance, the bricks should be laid to replicate historic structural arches. It is common practice to use a simple soldier course above an opening, without the outward slant that provides arch action in an authentic arch.



Victorian and Queen Anne Revival brickwork was rich in colour and pattern. Projecting and recessed courses, the use of headers, rowlock, and dogtooth courses, and contrasting quoins were all used to enliven masonry. It's not unusual to find designers limiting themselves to quoins and soldier courses. However, when working in the vocabulary of historic styles, it is more authentic to make use of the full variety of historic brickwork. Some manufacturers provide shaped bricks, which were also part of many historic styles.

9.2 Heritage Design and Details

9.2.10 Wood Siding



The most typical historic wood siding types were clapboard and board and batten. Clapboard was commonly installed with about 4 inches to the weather.

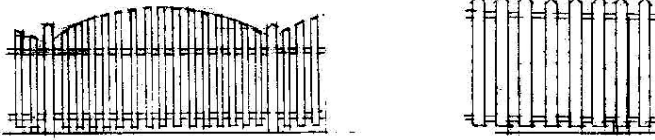
Board and batten siding was typically about a 10 inch board with a 2 inch batten.

Note the wide skirt board at the bottom of the walls, and the corner boards on the clapboard.

Stone foundations were common in 19th century buildings. The top sketch shows split-faced fieldstone, and the bottom sketch shows dressed fieldstone

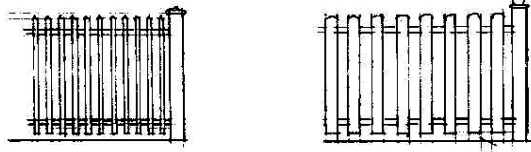
9.2 Heritage Design and Details

9.2.11 Fencing

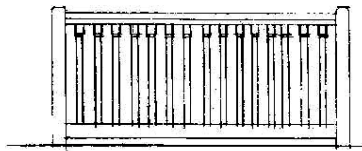


22 Church Street North has the only front-yard picket fence existing in the Village. Some historic photographs show a variety of front-yard fencing, both wood and iron. Traditional front-yard fencing is usually fairly low.

There was some variety in picket design, with square, pointed, and rounded tops.



New fencing in the District should respect historic design precedents.



Once there were fenced yards in Pickering Village. This 1935 photo shows the Brereton Bunting house at the southeast corner of Church Street and Kingston Road. Photograph from the Ajax Archives.

9.3 Existing Heritage Buildings

9.3.1 Overview

Pickering Village is fortunate in having numerous historic buildings, most of which are structurally sound, with original architectural details largely intact in many cases. This section aims to assist in the preservation and of historic architecture, and the restoration of lost or concealed heritage character, where details are in need of maintenance or repair, or have been obscured or removed in previous renovations. The aim is to assist in design that follows the original or is at least sympathetic to it, when new work is undertaken.

Guidelines:

- The existing heritage structures are the most significant elements of the heritage character of Pickering Village.
- For the purposes of this Plan, any property identified as 'Part IV-designated' or 'Others listed in Heritage Inventory' in Map 3, found on page 7, is considered a heritage property. These designations may be extended to other properties in the future.
- Proper maintenance of heritage structures prevents deterioration, and is the most cost-effective means of preserving heritage character.
- When heritage features are damaged or deteriorated, repair and restoration are preferable to replacement.
- New construction should not damage or conceal heritage features.
- New construction should include restoration of heritage features that have been lost or concealed by previous renovations.

9.3 Existing Heritage Buildings

9.3.2 Historical and Technical Research

The original state of existing heritage buildings should be researched before work is undertaken. On-site investigation often reveals original details concealed under later work. The Ajax Archives has an extensive collection of historic photographs.

Maintenance, repair, replacement and restoration work should be undertaken using proper heritage methods. Modern materials and methods of construction can have detrimental effects on old construction if proper methods are not used. This is particularly true of old brick. Section 10 lists some books containing relevant technical information.

The United States National Parks Service publishes *Preservation Briefs*, with detailed 'how-to' information on many aspects of heritage preservation and restoration. All 47 of these publications can be downloaded from: <http://www.nps.gov/tps/how-to-preserve/briefs.htm>

The Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada is similar, and is available on line at: <http://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>

9.3.3 Recording Original Construction

It is important to build up the record of historic construction in the District. No reconstruction or removal of historic architectural detail should be undertaken without recording the original with drawings and/or photographs. Copies of these records should be given to the Town of Ajax. Building such an archive of information is an important community effort.

9.3 Existing Heritage Buildings

9.3.4 Building Maintenance



The principal enemies of existing heritage buildings are fire and water. Proper maintenance is the best way to prevent damage and deterioration from these causes. **The loss of heritage detail and even entire buildings, due to simple neglect, is an avoidable tragedy.**

Standard fire-prevention practices should be followed: check electrical systems, and don't overload circuits; ensure that heating systems are in good condition; store combustibles properly.

Roofing, flashing, and rainwater drainage should be maintained in good condition. It is far better and cheaper to keep moisture out of the building, than to deal with the damage later.

Structural damage that admits moisture, such as settlement cracks, should be promptly repaired

Painted woodwork should be maintained.

9.3 Existing Heritage Buildings

9.3.4.1 Masonry Cleaning

Masonry cleaning should be done in a non-destructive manner. Ontario bricks are soft and subject to deterioration by harsh cleaning methods. Good results can usually be obtained with detergents and water and a stiff natural-bristle brush. Some professional water-borne chemical agents are acceptable. Sand-blasting and high-pressure water blasting are unacceptable.

Historical photographs show that most original masonry in Pickering Village was unpainted. Unless paint can be historically documented it should not be applied, and existing paint should be removed. Paint may be applied only where deterioration of the masonry leaves no other choice. Paint must be vapour-permeable (breathing-type) to prevent deterioration. See illustration at right.

Preservation Briefs has full information on proper materials and methods. See Section 9.3.2 for website.

Guidelines:

- Clean masonry using detergents and a stiff natural bristle brush. If this doesn't produce satisfactory cleaning, use only professional water-borne chemical agents for further cleaning.
- Do not use sand-blasting or high pressure-water for masonry cleaning.
- Do not paint historic masonry unless deterioration of masonry leaves no other choice.
- If masonry must be painted, use an appropriate breathing-type paint.
- Do not cover historic masonry with other materials such as stucco.



Non-breathing paint on brick. The vapour pressure of moisture in the brick blisters the paint, when it is able. If the paint adheres strongly, the pressure causes the brick surface to spall off, along with the paint, as seen in the centre of the picture. This lets in even more moisture, and the problem grows.

9.3 Existing Heritage Buildings

9.3.4.2 Masonry Repointing

Historic lime mortars weather back from the wall face over time, particularly when they are subject to moisture. This is normal, and repointing is only necessary when the mortar is deeply eroded. Repointing should only be undertaken in areas where the mortar has deteriorated. Don't remove sound mortar unnecessarily, but do poke and prod to make sure the mortar you are keeping is sound. If the pointing mortar is correctly formulated, and the joint is tooled to match the original, the repointing will not present a "patchy" appearance.

Historic lime mortar is softer and more water-permeable than modern portland cement mortars, and it preserves the brick by absorbing movements and providing a path for water to leave the wall. Modern Portland cement mortars, are designed for modern hard-fired bricks, and are highly destructive to softer historic bricks. The colour of historic mortars comes primarily from the colour of the sand in the mix, so care is required to establish a matching appearance.

Guidelines:

- Repair structural damage before repointing. Structural cracks may be letting in the moisture that is eroding the mortar.
- Do not use power tools to remove old mortar. They can damage the weather-resistant skin of the brick and cause future deterioration of the wall.
- Use lime mortar for repairs and repointing of historic brick. Match the original in formulation, with a cement content no greater than one-twelfth of the dry volume of the mix; the cement must be white portland cement and not grey.
- Do not treat historic brick with silicones or consolidants. They trap water vapour behind the surface of the brick which may damage the face by freezing or leaching of salts.



Progressive deterioration: Rainwater splashing on the porch and steps eroded the mortar. That let increasing amounts of water into the bricks and mortar below, and they are spalling and washing away, letting in even more moisture.

9.3 Existing Heritage Buildings

9.3.4.3 Painting Woodwork



Properly maintained and protected woodwork is a very durable building material. Deterioration of wood is almost always due to moisture problems: either a failure of the paint film or a problem, such as a flashing or roofing failure, that allows moisture to infiltrate from above and behind the finish surface. Blistering or peeling paint is usually a sign of moisture penetration. The source of the moisture should be identified and corrected before repainting. Refer to Section 9.3.5.5, below, if repairs are necessary before repainting.

Normally, it isn't necessary to remove sound, well-bonded paint before repainting. Paint removal, when required, is best done using gentle traditional methods. Chemical strippers can impregnate wood and harm the bonding ability of new paint, and excessive heat can cause scorching damage.

Guidelines:

- Inspect existing paint. Blisters or peeling paint usually mean water is getting into the wood, and the source of water should be corrected.
- Don't "strip" woodwork, unless paint build-up is excessive and obscures architectural detail. Just remove loose paint and feather edges.
- Don't use chemical strippers or torches to remove paint. These damage the wood and cause future problems.
- Use suitable heritage paint colours. Original paint colours can usually be found by sanding or scraping through overpainted layers.
- *Preservation Briefs* has information on painting. See Section 9.3.2. for the website.



9.3 Existing Heritage Buildings

9.3.5 Repair and Restoration

Repair and restoration should be based on proper heritage research, and be undertaken using proper heritage materials and methods. Section 10 lists helpful sources of information.

9.3.5.1 Brickwork

Brick repair should be undertaken using proper heritage materials and methods. If available, salvaged bricks matching the original should be used for replacement material. If new bricks are necessary, they should match the original in size, colour, and finish. The traditional Ontario brick size is still manufactured, but in small quantities, so material may have to be ordered well in advance of the work.

Historic bricks require the use of historic lime mortar. See the notes and guidelines in Section 9.3.4.2, under masonry repointing.

Guidelines:

- Repair structural damage before restoration.
- Use matching bricks for repairs, either salvaged old material or the best modern match in size and colour.

9.3.5.2 Stonework

Spalled stone can be restored using professional epoxy-based fillers matching the underlying stone. More serious deterioration will require replacement by new material, matching the existing. Use of precast concrete to replace stone is discouraged.



The elaborate and well-restored brick work at the entrance to the Gordon House Hotel at 103 Old Kingston Road.

9.3 Existing Heritage Buildings

9.3.5.3 Roofing

Heritage buildings might have originally had wood shingles, slates, or sheet metal roofing. Very few of the original roofs remain, and the asphalt shingle is the dominant roofing material in Pickering Village today. In re-roofing heritage buildings, care should be taken to choose a material that relates to the original roofing. If asphalt shingles are selected, colours should be black or a dark grey, like slate or weathered cedar. The use of textured premium grades improves the simulation, and synthetic slates and panelized synthetic cedar shingles can present a very realistic appearance. Note that roofing tiles are not part of the local vernacular, and tile or simulated tile (of concrete or pressed steel) are not appropriate.

9.3.5.4 Wood Frame Construction

The earliest buildings were of log construction but were quickly supplanted by wood frame construction. Over history, original siding materials would have included wood clapboard, board and batten, and more rarely, stucco. Agricultural buildings used vertical boards. The heritage quality of many old buildings has suffered by the application of aluminum or other modern sidings. Renovations to wood frame heritage construction should include restoration of original siding materials when they have been covered by these inappropriate materials.

9.3.5.5 Decorative Woodwork

Deteriorated woodwork should be repaired, if possible, rather than replaced. Repairs should use the same wood species and design as the original. If replacement is necessary, it should conform to the original design, and wood should normally be used, rather than modern materials. Well-maintained and properly detailed woodwork is quite durable: much of the existing heritage decoration in Pickering Village has lasted more than a century. In certain situations, with extreme exposure to weathering, modern materials are acceptable.



22 Church Street North

With occasional maintenance, the wood “gingerbread” trim and windows have lasted about 130 years. So far.

9.3 Existing Heritage Buildings

9.3.5.6 Window Repair and Restoration

Original window frames and sashes should be repaired if possible, rather than replaced. Repairs should be limited to damaged portions of the window assembly. This is not only good heritage practice: it is usually less costly. Even badly rotted wood can be repaired and restored with modern epoxy materials.

Historic wood windows perform very well in terms of life-cycle costing, and can have very good energy efficiency as well. It is worth considering these factors before deciding to replace original windows. Many historic windows have lasted for more than a century, with only minor routine maintenance, such as puttying, painting, and the occasional adjustment of fit and hardware. It is unlikely that any modern replacements would venture to guarantee similar longevity.

Energy costs need to be considered as a whole, not simply comparing the R-values of the glazing. Heritage buildings have a relatively small percentage of openings compared with more modern designs. Even an ordinary wall outperforms the best glazing by a large margin.

In addition, the energy performance of a window assembly is more dependent on air leakage than on the insulative qualities of the glass itself. It is fairly easy and inexpensive to improve the fit and add weatherstripping to historic windows, so that air infiltration matches modern standards. The addition of interior or exterior storm windows gives further energy savings, and eliminates or reduces the biggest problem of single glazing, which is cold-weather condensation.

A recent speech by Donovan D. Rypkema, the foremost expert in the economics of preservation, noted that:

Properly repaired historic windows have an R factor nearly indistinguishable from new, so-called “weatherized” windows.

Regardless of the manufacturers’ “lifetime warranties,” 30 percent of the windows being replaced each year are less than 10 years old.

One Indiana study showed that the payback period through energy savings by replacing historic wood windows is 400 years.¹

A full discussion of energy considerations in historic buildings is available in Preservation Briefs No. 3. See Section 9.3.2 for the website.



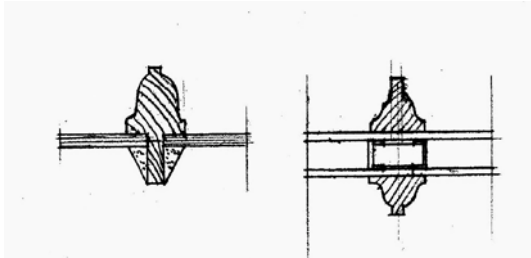
Life-cycle costing makes wood look good. The District has many wood windows that are still in service after more than a century.

“No maintenance” materials can’t be maintained, and need replacement when they fade, chip and dent.

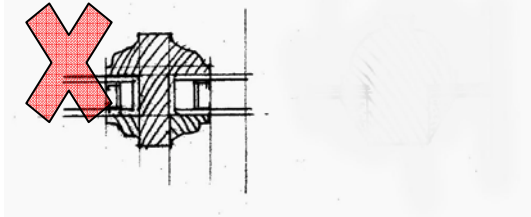
¹ Speech to the Annual Conference of the National Trust for Historic Preservation. Portland, Oregon, October 1, 2005.

9.3 Existing Heritage Buildings

9.3.5.7 Replacement Windows



The proportions of original glazing bars can be matched for double-glazed windows with bonded muntins with internal spacer bars.



Most double glazed “true” lights require glazing bars that are much wider than the originals.

If original windows cannot be repaired or restored, replacement windows are an option. If possible, replace only damaged portions; for example, replace the sash but retain the frame. Window design should match the original in type, glazing pattern, and detail. In many buildings, windows have been replaced, and it may require some research to determine the original design. The descriptions in Section 9.2.4 may be useful, or original windows in similar neighbouring buildings might offer a clue.

In recent years window manufacturers have responded to the market for authentic heritage windows. Catalogues now include round- and segmental-arch heads and a variety of glazing patterns, providing good representations of the historic styles found in Pickering Village. Replacement windows that are not compatible with the original architectural style are not acceptable.

Some care needs to be taken in detailing. Two common problems are heavy glazing bars, and horizontal orientation of the panes in multi-light sash.

True muntins for double-glazed windows are too heavy to preserve the proportions of original windows. Bonded muntins inside and out, with spacer bars in the air space, provide better proportions for an authentic appearance in most residential-scale windows.

Care is also needed in the proportions of the “panes”, which should have a greater height than width. Depending on the manufacturer, and the size and type of window, the manufactured muntin grilles may not have correct proportions.

“Snap-in” interior muntins or tape simulations are not acceptable.

9.3 Existing Heritage Buildings

9.3.6 Renovations



Before,



And after.

Very fine restoration of the Nun's Coif gingerbread on the gable at 23 Elizabeth Street.

When a renovation on a heritage building is undertaken later work that conceals the original design or is unsympathetic to it should be removed.

Guidelines:

Incorporate restoration of original work in exterior renovation projects.

- Use authentic original materials and methods. For example, when replacing aluminum siding, use wood siding or board and batten.
- Replace missing or broken elements, such as gingerbread, spindles, or door and window trims.
- Remove items, such as metal fascia and soffits that conceal original architectural detail.

9.3 Existing Heritage Buildings

9.3.7 New Additions to Heritage Buildings

Architectural Style

New attached additions to heritage buildings should be designed to complement the design of the original building.

Guidelines:

- Design additions to maintain the original architectural style of the building. See Section 9.1.
- Use authentic detail. See Section 9.2.
- Research the architectural style of the original building. See Section 10 for useful research sources.
- Follow the relevant guidelines for new construction in Section 9.5.



These additions follow the Georgian precedent of the original building.



These additions use styles that don't match the original.

9.3 Existing Heritage Buildings

9.3.7 New Additions to Heritage Buildings Cont'd Scale

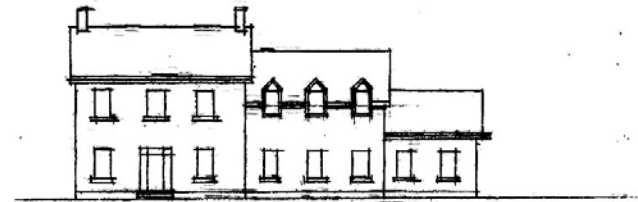
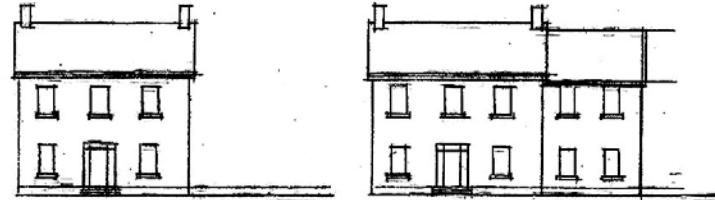
New additions to heritage buildings should respect the scale of the original building.

Guidelines:

- Don't design additions to a greater height or scale than the original building.
- Don't design additions to predominate over the original building.

Usually, additions should be located at the rear of the original building or, if located to the side, be set back from the street frontage of the original building.

- For garage additions, see Section 9.3.8
- Use appropriate materials. See Section 9.8.
- Avoid destruction of existing mature trees. See Section 9.7.



In keeping with good heritage practice, these additions are of lesser scale than the original house and are set back from the main front wall.

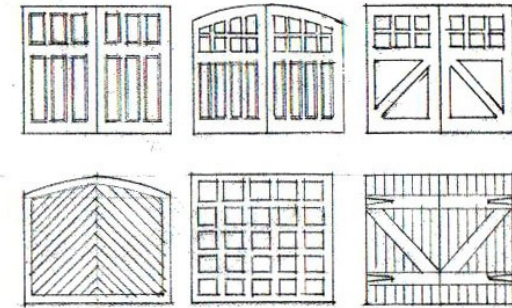
9.3 Existing Heritage Buildings

9.3.8 Outbuildings for Heritage Buildings

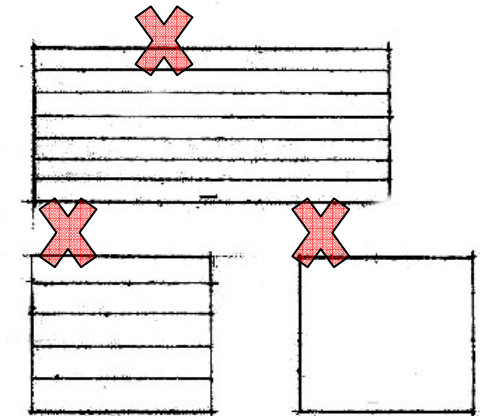
Traditionally, garages or stables were built as separate rear outbuildings with gable roofs.

Guidelines:

- Work on existing heritage outbuildings should retain or restore original design features.
- New garages should respect traditional siting as separate rear outbuildings, if possible.
- Connected garages should minimize their street presence. For example, a garage may be turned so that the doors face a side lot line, or it may be set well back from the main frontage, with the connection to the main building disguised or hidden.
- Design garages to traditional outbuilding forms, with gable roofs, and frame or brick construction.
- Use single-bay garage doors, compatible with traditional designs. Suitably designed overhead doors are now widely available.
- Other outbuildings, such as garden and storage sheds, should be of traditional wood construction when visible from the street. Prefabricated metal sheds, if used, should be located to be out of view from the street.



Garages should be designed with single bays, and doors should reflect historic designs. There are now a wide range of heritage-compatible doors available from many manufacturers.



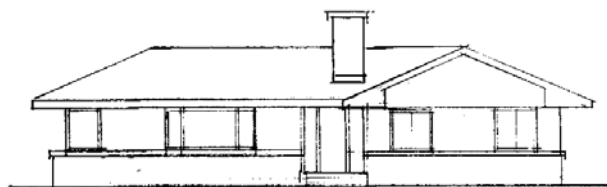
Double-bay garage doors and flat slab-type garage doors are not appropriate in the District

9.4 Existing Non-Heritage Buildings

9.4 Existing Non-Heritage Buildings

Of the buildings in the Village that are not considered heritage structures, many, by virtue of their scale, siting, and surrounding landscaping, contribute to the overall character of the area. Buildings deserve some respect on their own terms, and it is not the intent of the Guidelines to ask newer buildings to pretend to be anything other than what they are.

A typical 1970s ranch bungalow.



9.4.1 Design Approaches

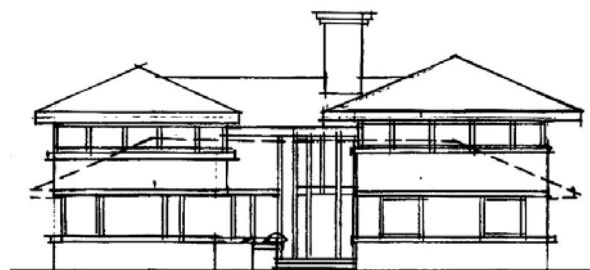
Additions and alterations to non-heritage buildings have an impact on their heritage neighbours and the overall streetscape. There are two design approaches that are appropriate to additions and alterations to such work in the Village.

9.4.1.1 Contemporary Alteration Approach

Ordinarily, a modern building should be altered in a way that respects and complements its original design. Interest in preservation of the modern architectural heritage is growing, and good modern design deserves the same respect as good design of the 19th century.

Guidelines:

- Additions and alterations using the Contemporary Alteration approach should respect, and be consistent with, the original design of the building.
- The Guidelines in Section 9.3.7 for additions to heritage buildings apply, in terms of siting, scale and location of additions.
- Many modern buildings are old enough to have already undergone renovations, which may not be in character with either the original design, or historic precedent. In such cases, the design of further new work should restore the architectural consistency of the whole.
- In some cases, modern buildings predominantly feature materials that are out of keeping with the local vernacular heritage, such as tile or artificial stone veneer, and tile or simulated tile roofing. Replacement of these materials with more sympathetic ones, when renovations are being undertaken, is encouraged.



The Contemporary Alteration approach used in putting on a second storey addition.

9.4 Existing Non-Heritage Buildings

9.4.1.2 Historical Conversion Approach

In some cases, a modern building may be altered in a way that gives it the appearance of an older building. A historical conversion should have the integrity of an historical architectural style. This approach means considerably more than sticking on a few pieces of historical decoration; it may require considerable new construction to achieve an appropriate appearance.



The Historical Conversion approach used in putting a second storey addition on the same house above.

Guidelines:

- Additions and alterations using the Historical Conversion approach should rely on a local heritage style described and depicted in Section 9.1. Use of a style should be consistent in materials, scale, detail, and ornament. Refer to new construction guidelines in Section 9.5 for further guidance.
- Although most additions should be modest in comparison to the original building, the Historical Conversion approach may call for substantial additions in front of and on top of the existing building.
- Additions should avoid destruction of existing mature trees. See Section 9.7.

9.5 New Development

9.5 New Development

9.5.1 Overview

The overall heritage character of the District is composed of buildings, streetscapes, landscapes, and vistas. This overall character has more significance than any individual building, even if it is one of the finest. Within the design of any individual building, architectural elements contribute to the character of the public realm of the street. Massing, materials, scale, proportions, rhythm, composition, texture, and siting all contribute to the perception of whether or not a building fits its context. Different settings within the district have different characters of siting, landscaping and streetscaping.

New development within the District should conform to qualities established by neighbouring heritage buildings, and the overall character of the setting. Designs should reflect a suitable local heritage precedent style. Research should be conducted so that the style chosen is executed properly, with suitable proportions, decoration, and detail.

Guidelines:

- New buildings should reflect a suitable local heritage style. Use of a style should be consistent in materials, scale, detail, and ornament.
- Use Section 9.1 for preliminary guidance on styles.
- Use Section 9.2 gives further preliminary guidance on details of design and construction.
- It is highly recommended that owners engage design professionals skilled in heritage work for new buildings in the District.

9.5 New Development

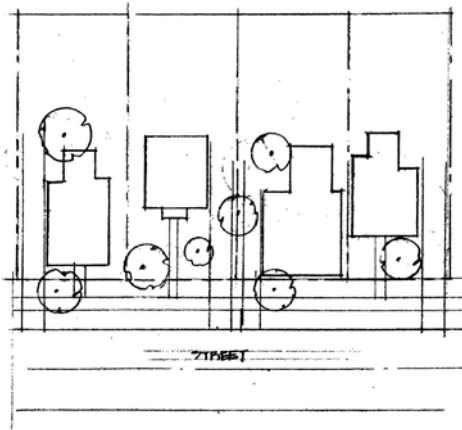
9.5.2 Residential Area



Overview

The residential village has a variety of lot sizes, frontages, and setbacks. Houses are mostly of a modest scale, leaving generous yards on all sides. In the historic area front yards tend to be shallow compared to the rear yards, where space was needed for stabling, herb and vegetable gardens, and orchards. An early village household needed these means for self-sufficiency, and lawns and decorative planting were minimal. The use of the yards has changed, and they provide more pleasure and less production now, but to a great extent the original village scale has persisted. Building height, lot coverage, and density are all low. The streetscapes are unified by a canopy of trees, planted in front of, behind, and beside most houses. Elements that define the heritage character of the residential village include:

- Generous lot sizes and modest house sizes, compared to historic urban development or recent suburban development;
- A variety of front-yard setbacks;
- The generous presence of mature trees, in addition to decorative shrubbery, in the front, side, and rear yards.

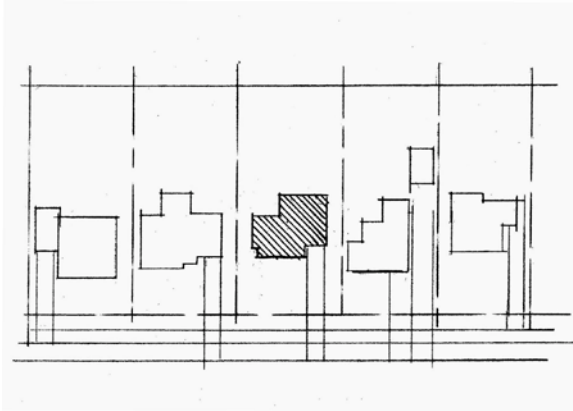


Buildings and trees share in forming the streetscape.

9.5 New Development

9.5.2 Residential Area Cont'd

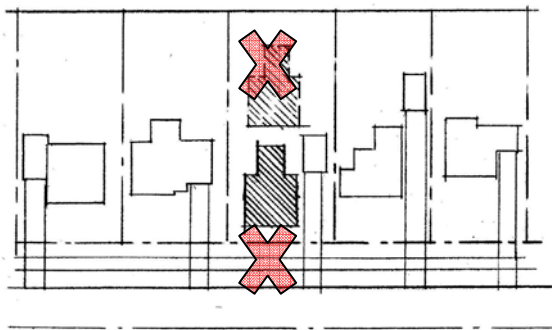
9.5.2.1 Site Planning



Respect the existing site plan character of similar, but not identical front-yard setbacks.
Place a new building to mediate between setbacks of neighbouring buildings.

Guidelines:

- Site new houses to provide setbacks and frontages that are consistent with the variety of the village pattern.
- Site new houses to preserve existing mature trees. See Section 9.7.



An extreme difference in setback from adjacent buildings is not appropriate.

9.5 New Development

9.5.2 Residential Area Cont'd

9.5.2.2 Architectural Style



It's possible to build new houses that are highly compatible with heritage buildings. These recent houses were built in the Unionville Heritage Conservation District.



New buildings in the residential areas should reflect the historic built form of their historic neighbours.

Guidelines:

- Design houses to reflect one of the local heritage Architectural Styles. See Section 9.1.
- Hybrid designs that mix elements from different historical styles are not appropriate. Historical styles that are not indigenous to the area, such as Tudor or French Manor, are not appropriate.
- Use authentic detail, consistent with the Architectural Style. See Section 9.2
- Research the chosen Architectural Style. See Section 10 for useful research sources.
- Use appropriate materials. See Section 9.8.

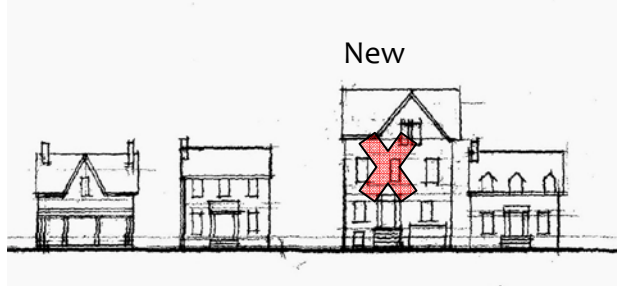
9.5 New Development

9.5.2 Residential Area Cont'd

9.5.2.3 Scale and Massing



Design new houses to be consistent with the scale of neighbouring ones.



Don't design new houses that are inconsistent with the existing neighbourhood scale.

New residential construction in the residential villages should respect local heritage precedents in scale and massing. In almost every case, new construction will be replacement houses on existing built lots. Note: It is recommended in Section 7 that the zoning by-law be amended to recognize the smaller scale of historic village development as contrasted with modern suburban development.

Guidelines:

- New buildings should be designed to preserve the scale and pattern of the historic District.
- New houses should be no higher than the highest building on the same block, and no lower than the lowest building on the same block.
- As far as possible, modern requirements for larger houses should be accommodated without great increases in building frontage. For example, an existing 1½-storey house could be replaced by a 2-storey house with a plan that included an extension to the rear. This might double the floor area without affecting the scale of the streetscape.
- Follow the policies in Section 4.4 of this Plan concerning height and depth of buildings and garages.
- For garages, see Section 9.3.8.

9.5 New Development

9.5.3 Commercial Area

9.5.3.1 Character



Map 4. There are three vacant lots in the Commercial core (dark shading). There are also a number of under-utilized lots (blue shading). In the 20-year horizon of this Plan it is expected that many of these sites will be subject to redevelopment. These redevelopments will have a significant impact on the visual appearance of the District, particularly on the north side of Old Kingston Road at the east end of the District.

- For the purposes of this plan, the Pickering Village Commercial Area consists of all the properties on Old Kingston Road, plus No. 20 Church Street North and No. 2 Elizabeth Street.
- The Pickering Village Commercial Area includes 15 properties that are ‘listed’ in the Town of Ajax Heritage Inventory, 2 of which are designated under Part IV of the *Ontario Heritage Act*. Refer to Map 3 on page 7 of this Plan.
- The heritage character of the Commercial Area consists of a mix of village-form development—varied set-backs and sideyards, and town-form development—commercial blocks built to a straight frontage, such as the Dunbar Store and the Gordon House Hotel.
- The Commercial Area includes a substantial number of sites that have a potential for new developments during the 20-year time horizon of this Plan—identified in the map to the right.
- The extent of potential redevelopment sites means that new development will have a substantial impact on the visual character of the District.

Guidelines:

Therefore, it is important to ensure that the new development that occurs will enhance, rather than detract from the heritage character of the District.

9.5 New Development



Dale Block and Monney's Bakery on the left.



Both still there today.

9.5.3 Commercial Area Cont'd

9.5.3.2 Objectives for New Development

Overall Objectives

- Preserve existing heritage buildings.
- Ensure that new development respects and enhances existing heritage character and resources.
- Maintain a pedestrian-friendly commercial environment.

Building/Street Relationship

In order to create a commercially viable pedestrian environment, it should be the aim of new development to enhance the sense of security for pedestrians.

Guidelines:

- The use of off-street parking, grassed boulevards, cooperative connected parking arrangements and access, and connected pathways and open spaces between and at the rear of buildings are all supported in site planning of new developments. See site planning guidelines below.
- Entrances shall face the principal street. Corner entrances are encouraged for corner lots. Principal entrances will be flush with the sidewalk, and will comply with the *Ontario Building Code* and the *Ontarians with Disabilities Act* in their design.

9.5 New Development



Markham, above, grew into a town. There is a fairly continuous line of buildings, constructed on the street line. Kleinburg, below, remained a village. The buildings are separated and front-yard setbacks vary. Trees provide a frame for the buildings, growing in front of, beside, and behind them.



9.5.3 Commercial Area Cont'd

9.5.3.3 Site Plan Characteristics

The site plan characteristics of the Pickering Village Commercial Area are a mix of the village and town forms.

The principal qualities found in a villagescape are:

- The existence of sideyards, even on most commercial properties;
- A mix of residential and commercial building types. This character persists when residential buildings are converted to commercial uses;
- A variety of frontyard setbacks, with purpose-built commercial buildings tending to be located forward on the lot;
- The random presence of trees in front, side, and rear yards, providing a frame of clumps of greenery to the built form.

The principal qualities found in a townscape are:

- Buildings are constructed to the full width of their lots, and to the front lot line.
- Typically, the intensification from village to town included an increase of height to two or three storeys, with a commercial storefront on the ground floor. Upper storeys were often part of the store, and used for storage of stock.

Guidelines:

New developments should be designed to respect and mimic the site plan characteristics found in the District.

9.5 New Development

9.5.3 Commercial Area Cont'd

9.5.3.4 Site Plan Guidelines

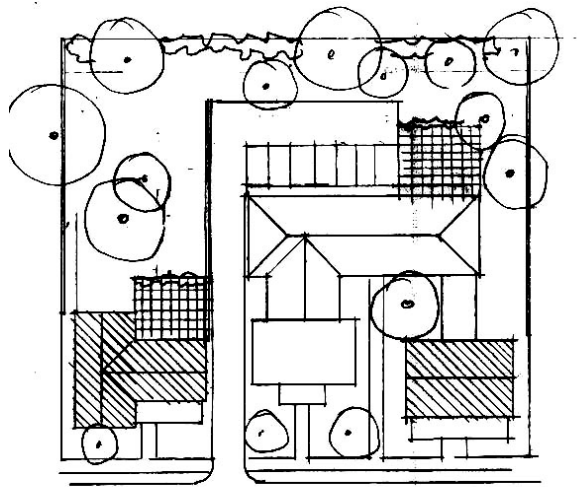


Sites with Heritage Buildings:

A substantial proportion of the street frontage in the Commercial Core is occupied by heritage properties. Any intensification of these properties should preserve the existing heritage character of the streetscape.

Guidelines:

- All existing heritage buildings shall be conserved.
- In most cases, existing heritage buildings occupy most of the width of their lots. In cases where there is sufficient space for side additions, those additions should be set back a minimum of 2 metres from the main front wall of the existing heritage building, and should be of a sympathetic design.
- In most cases, existing heritage buildings use their rear yards for parking. In many cases, they have already constructed rear additions.
- In those cases where new rear additions are feasible, those additions should be designed to be sympathetic to the original heritage building, and generally, they should be no higher than the original heritage building.
- In cases where future land assembly results in a larger new development incorporating a heritage building, the heritage building should be conserved in place, and retain its prominence.
- Where there is an existing yard in front of a heritage building, it should be preserved.
- Where front-yard patios are installed, they should take the character of a fenced front yard, not a suburban deck with a railing; in-ground planting should be used to soften the landscape in such patios.



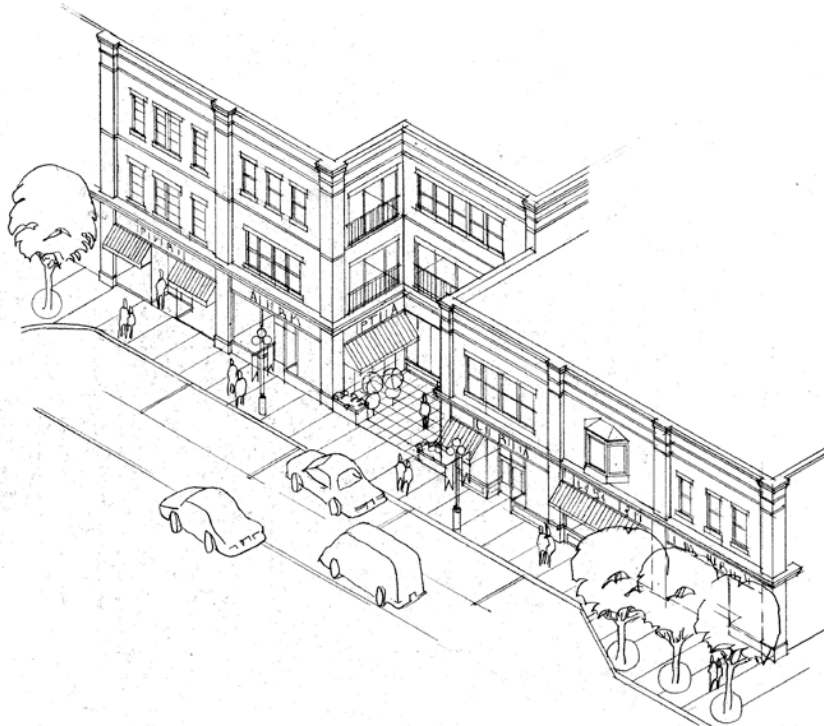
Infill developments should preserve existing heritage structures and existing mature trees. Set-backs should be varied, in keeping with the historic village character.

The example shown above maintains a planted buffer strip at the rear, where it abuts residential properties.

9.5 New Development

9.5.3 Street Commercial Area Cont'd

9.5.3.4 Site Plan Guidelines Cont'd



New development based on town commercial buildings. The scale of the building is broken into elements 20 metres wide, and the linking element is set back to create a zone of enhanced pedestrian comfort. A parking lay-by also enhances the sense of pedestrian security, and boulevard trees soften the environment.

Large sites without heritage buildings:

On larger sites, without existing heritage buildings, intensification will mean larger redevelopment projects. It is important that these projects respect the overall character of the village, and that their rhythm and scale are integrated with the smaller scale of the historic village.

Guidelines:

- The Gordon House Hotel has the largest existing heritage frontage in the District. New developments should be broken into main elements with frontages no larger than 20 metres.
- Main elements can be linked with connecting elements, of a 5 metre minimum width and a 2.5 metre minimum set back. This respects the general spacing of buildings in the commercial core.
- The ground area in front of the set back connecting elements can be used to provide an area of pedestrian refuge, a landscaped element, a seating area, or a restaurant patio.
- Landscaping should be provided, including planters, benches and waste receptacles as integral to the design.

9.5 New Development



NORTH ELEVATION

These proposal sketches all show projects that respect the scale and height of the existing heritage buildings in the Village of Maple. Maple is similar to Pickering Village, in being an original village, with a mix of commercial and residential buildings.

9.5.3 Commercial Area Cont'd

9.5.3.5 Scale and Massing

Scale and massing shall respect the character of the historic Village.

Guidelines:

- It is recommended that the Zoning By-law for Pickering Village be amended to ensure that developments which include or abut existing heritage buildings respect, give prominence to, and do not overwhelm the heritage buildings. For example, the concept of angular planes could be used to control the height to distance relationship between new construction and the adjacent or included heritage building.
- Maximum façade height 3 storeys.
- An additional storey can be built, using dormers within a sloping roof space. Mansard roofs are not suitable.
- Height and massing should respect the 1- to 2-storey residential properties when they are adjacent.

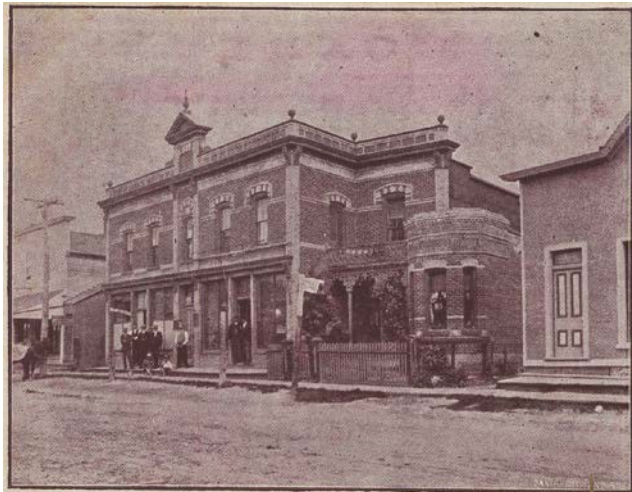
9.5 New Development

9.5.3 Commercial Area Cont'd

9.5.3.6 Architectural Style



Narrow commercial properties might be suitable for office development in house-form buildings. The Murkar House is a heritage example of an office use in a house-form building.



Town-form buildings, like the Dale Block, provide a prototype for commercial development on wider lots.

Historic buildings in the Commercial Area are a mix of purpose-built commercial structures and house-form residential. House-form buildings all had gable roofs. 62 Old Kingston Road is unique in being a house-form building, partially converted to a commercial shopfront building, with a “false front” to mimic flat roofed town commercial buildings.

New buildings should reflect one of these heritage styles, particularly in its street-front aspect

Guidelines:

- It is expected that, in order to achieve desired intensification, most new buildings will be town-form buildings of two or more storeys. Some smaller sites may be suitable for house-form buildings of two storeys.
- New buildings should reflect a suitable local heritage style. Use of a style should be consistent in materials, scale, detail, and ornament.
- Do not use hybrid designs that mix elements from different historical styles.
- Use authentic materials. In most cases this means brick, with stone sills and brick or stone lintels.
- Use Section 9.1 for preliminary guidance on styles.
- Use Section 9.2 for further preliminary guidance on details of design and construction.
- It is highly recommended that owners engage design professionals skilled in heritage work for new buildings in the District.

9.5 New Development

9.5.3 Commercial Area Cont'd

9.5.3.7 Storefronts



Base, Body, and Cap:

Historic commercial buildings are 3-part compositions, with a storefront as the base, the second storey as the body, and a cornice as a cap. The storefront is similarly divided, with a panelled base, the shop windows as the body, and the signband as the cap.

As noted under Architectural Style, above, historic commercial buildings may have been purpose-built or converted from residences. This is typical of a village commercial streetscape, and differentiates it from shopping areas in larger towns and cities. As a result, there is a variety of heritage precedents available for the design of new shopfronts.

Historical conversions of residential buildings to commercial use often inserted a large window opening, perhaps on only one side of a central door, rather than full width storefront. More recent conversions often leave the original residential window openings in place, if the business doesn't require large display windows.

Guidelines:

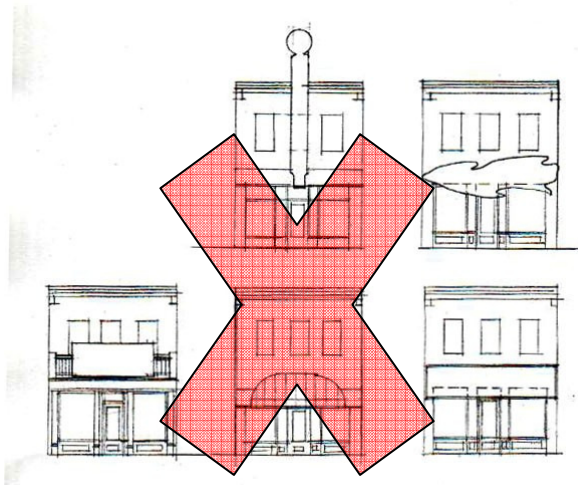
- Storefront design should reflect local historic precedents. Design elements within any chosen precedent should be consistently applied.
- Full-width porches are appropriate elements in storefront design.
- Retractable awnings are appropriate. Rigid awnings and fixed canopies are inappropriate.
- Use of traditional wood and glass construction for storefronts is encouraged.
- If modern materials are used, they should be detailed to replicate traditional designs in scale, proportion and architectural effect. For example, the use of wood trim at jambs, posts, and panels can enhance the heritage effect of standard storefront and glazing systems.
- Preservation Briefs has information on heritage storefronts. See Section 9.3.2. for the website.

9.5 New Development

9.5.3 Commercial Area Cont'd 9.5.3.8 Signage



Moulded signbands integrated with historic storefronts, small soffit signs above or below porch fascias, and flat externally illuminated wall signs are appropriate in the District.



Signs that are modern in form, too large, or that obscure architectural detail are not appropriate in the District.

Guidelines:

The Town of Ajax Sign By-law governs. It will be stringently applied. Refer to Section 4.6.2 for policy recommendations regarding signage.

- Integrate signage with the design of the storefront, based on historical precedent.
- Back-lit or internally illuminated signs, including awning signs, are not appropriate.
- Neon and readograph signs are not appropriate.
- Third-party signs are not appropriate.
- Awning signs, other than lettering, no more than 6" high, on awning skirts, are not appropriate.
- Ground signs are without heritage precedent and are generally not appropriate. If other sign types would obscure architectural detail on a heritage building, a low ground sign, no higher than 1.0 metres, is acceptable. Larger ground signs, including directory ground signs, listing tenants of a commercial development, are appropriate on the Kingston Road edge.
- Replacement of existing non-conforming signage should be included as part of any work undertaken on properties in the District.

9.5 New Development

9.5.3 Commercial Area

9.5.3.9 Special Site



The vacant land to the west of the Courtyard at 109 Old Kingston Road is the most significant potential re-development site in the Village. Whatever is built here will replace the Courtyard as the landmark signifier of Pickering Village when it is approached from the west. Coming from this direction, the heart of the Village isn't apparent, unlike the eastern approach, which provides at least a glancing view up Old Kingston Road. For this reason, whatever is built on this site will have an outsized effect on the perception of the Village. The Kingston Road frontage of the District is likewise significant to the identity of the District, and this is dealt with in Section 9.6.4, below.

Guidelines:

The significance of this site is such that:

- The Policies and Guidelines of this Plan should be applied in the most careful manner.
- The design of the project should be firmly based on local heritage precedent in regards to both style and scale.
- Details of landscaping and signage, as viewed from the west and south should reflect the role of the site as a Village landmark and gateway.

9.6 Streetscape Work

9.6.1 Overview

Work within the road allowance should be designed and executed to meet modern requirements, amenity, and convenience, without detriment to the heritage character of the District. This work is either undertaken by public authorities, as in the case of roadside planting and the construction of roads, curbs, sidewalks, lighting, and road signage or it is subject to approval by public authorities, as in the case of BIA installations, newspaper boxes, and tourism information or identity signage.

District Identity

Installations within the road allowances have a significant effect on the experience of the heritage character of the District and the establishment of a sense of identity. The use of a consistent design vocabulary at the various scales and in the various kinds of road allowance work reinforces the District's identity and supports its economic role as a place of unique historical character in the community. Heritage Permits are required for the installation of items such as sidewalks, curbs, paving, street and pedestrian lighting, benches, tree grates, tree guards, trash receptacles, recycling bins, and parking equipment.

Contexts

Pickering Village possesses two distinct contexts: the Commercial Area, and the Residential Areas. The goals of the Guidelines for streetscaping are:

- Enhancing historical character of the road allowances in the Residential Areas.
- Creation of a pedestrian-friendly shopping environment in the Commercial Area.
- Establishing identity through gateways, signage, and markers.

9.6 Streetscape Work

9.6.2 The Residential Streets



Two of the few substantial street trees in the District are in front of 19-21 Linton Avenue.



The Linton Avenue frontage of 72 Old Kingston Road provides an opportunity for planting of some street trees.

Roadways

The streets in the residential areas have a curbed “urban” profile. In most instances there are concrete sidewalks with generally narrow or non-existent grassed boulevards. There are very few street trees in the boulevards.

Guidelines

- The existing curbed profile is suitable for the character of the District.
- Over time, grassed boulevards should be provided where they don’t already exist.

Planting

Villages are planted informally, with a mix of species and irregular spacing.

Guidelines

- Where space permits, additional street trees will enhance the urban forest.
- Maintain a village character in street planting. The linear urban planting pattern of regularly spaced boulevard trees is not appropriate here.
- See Section 9.7 for suggested species.

9.6 Streetscape Work

9.6.3 Commercial Area



The Commercial Core of Pickering Village is compact, and walkable. The Town has provided many pedestrian-scale amenities, such as planters and planting baskets, benches, and attractive paving.

Overview

Maintenance of a pedestrian-friendly commercial environment is an important objective of streetscape work in the Commercial Area. Pedestrian amenity is discussed in Section 9.5.3, above. Specific improvements, including private and street parking are also discussed under Site Planning, in Section 9.5.3.2.

Streetscape installations are an important aspect of meeting the objectives of conserving the heritage character, reducing the impact of traffic on the pedestrian environment, and creating a viable commercial destination.

Early 20th-century photographs of Pickering Village show streetscapes very different from today's. An accurate "historical reproduction" would exclude automobiles, paving, lighting, highway signs, bollards, and benches. It's obvious that a lively commercial area requires all of these things, some of them because they enable and enhance public use and commercial activity in the village core, many of them because regulations and standards govern the design of traffic systems, lighting levels, and so on. There is an inherent historical ambiguity in a Heritage District that must be addressed when evaluating the design of these modern installations. The following principles apply to such an evaluation:

9.6 Streetscape Work

9.6.3 Commercial Area Cont'd

Principles

1. Adapt to the automotive streetscape: As the list of modern artifacts above shows, the automobile and its infrastructure account for much of the visible non-heritage installations in the District. There is a built-in division of the streetscape in its historical aspect: it is inescapably modern from curb to curb. Modern accessories like waste receptacles and street lighting should be placed near to the curb, where they form a transition band between the heritage experience of the buildings and the modern experience of the roadway.

2. Don't accentuate non-heritage installations: Human perception is very good at filtering out unimportant and repetitive information. The modern enthusiasm for heritage has produced a host of "old-fashioned" products. Many of these are poorly executed and overly fussy. As a result, they call undeserved attention to themselves and the attention, thus directed, detects the fraud. Often, a very plain modern item will fade into the recesses of perception and be less intrusive than a deliberately "historical" version.

3. Maintain historical integrity: Even when they don't represent an accurate reconstruction, it is important to choose "historical" items in the context of history. For example, the streetlighting of 1890 can't be reconstructed because there was none. The designer should bear in mind that Pickering Village was a modest hamlet and ask, "If the village HAD installed early lighting, what sort of fixtures would have been chosen?" They would have been simple and functional, and would not have had the ornate qualities of lighting for a big-city promenade.

9.6 Streetscape Work

9.6.3 Commercial Area Cont'd

Applying artificial heritage elements to modern items only calls attention to the inauthenticity of the exercise. It's better to choose unobtrusive designs. In the example below, the bus shelter doesn't work, but the waste container does.



Lighting

The lighting fixtures currently installed in the Commercial Area are suitable for the village, in terms of the principles outlined above. When replacement becomes necessary, due to aging or upgraded standards for light levels and “dark skies”, fixtures of a similar simplicity should be chosen.

Street Furniture

Selection of street furniture should follow the principles outlined above. In general, items that might have appeared in a village environment should be selected for authenticity. Items that are modern interjections should be selected for unobtrusiveness. It is recommended that street furniture items be black, as it helps keep these items in the visual background, and is an historic colour for painted metal items like light posts and bench ends.

Benches should be the traditional flat-slat type with cast metal ends, in a simple design. Bench castings are available with cast-in or bolted-on lettering, which could serve as a District identity marker.

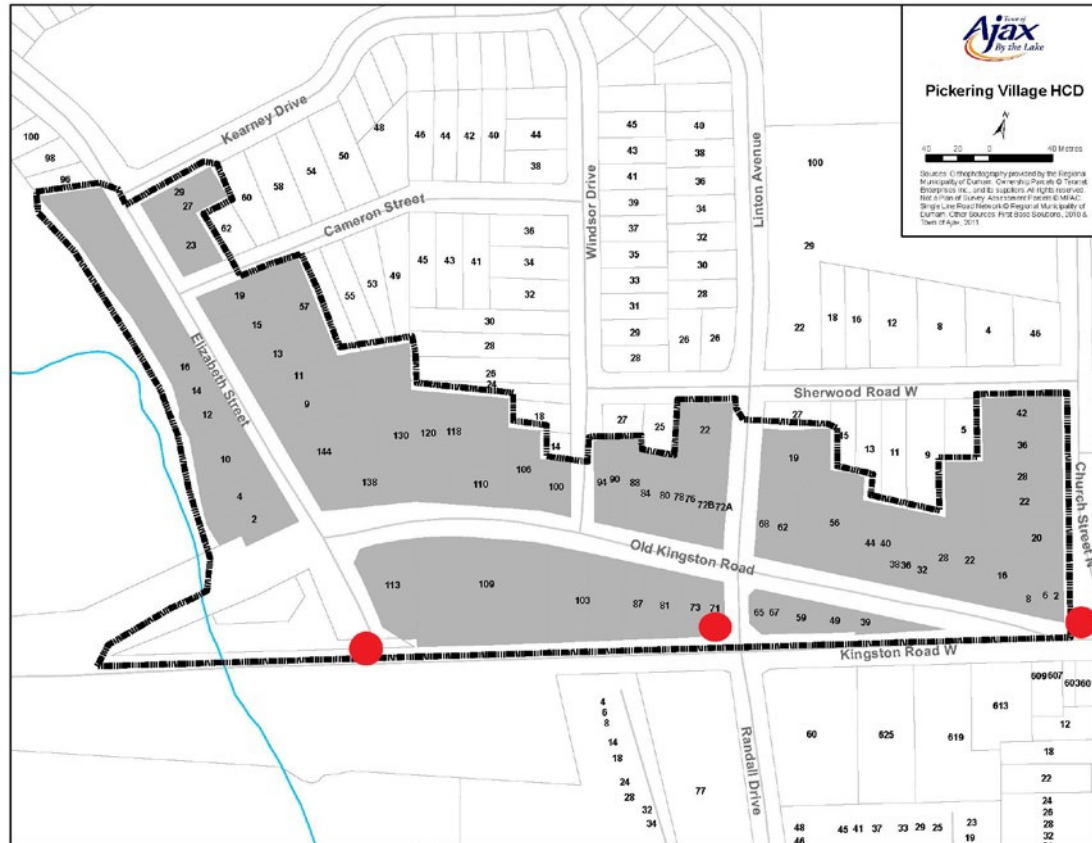
Waste and Recycling Bins should have a simple design, and should be constructed so that plastic garbage-bag liners are not visible. Box-type recycling bins bearing advertising are not appropriate.

Tree Guards should have a simple design, compatible with the design of waste and recycling bins.

Planters were not part of the historic streetscape but they have become established as “softeners” in business areas everywhere. In that sense, they resemble the non-functional “heritage” dormers, cupolas, and gazebos that flourish on modern shopping plazas. To the extent that planters are part of the modern commercial landscape, they should take a form that reflects the traditional garden pattern of rectangular beds. It is generally preferable to use in-ground planting, rather than planters. Hanging flower baskets should be minimized, since they were not part of the historic streetscape, and have become a symbol of urban shopping districts.

9.6 Streetscape Work

9.6.3 Commercial Area Cont'd



Map 5. Automotive-scale gateway markers would be appropriate at the entrances to the District from Kingston Road. Locations are indicated with dots.

Gateways

The principal traffic approaching the District will be on Kingston Road. Automotive-scale gateway markers at the entrances from Kingston Road would serve to reinforce its identity and to promote the District as place of unique historical character in the community and region.

Guidelines:

- Suggested locations for automotive-scale gateway markers are shown on Map 5, to the left.
- Pedestrian-oriented sidewalk plaques might be suitable at District entrances on Elizabeth Street, Windsor Drive, Linton Avenue, and Church Street North.

9.6 Streetscape Work



The existing fencing is ineffective in visual screening or in creating an area identity.

9.6.4 Area of Special Concern The District's Kingston Road Edge

Although gateway markers will be valuable in identifying the Pickering Village Heritage Conservation District to travellers on Kingston Road, the face that the District presents to them is not currently an appealing one. To a great extent, the view is of parked cars, garbage bins, and undistinguished rear facades of the buildings on Old Kingston Road. Only the Courtyard has principal facades facing Kingston Road, but even these are fronted by 20 metres of paved parking lot.

There is a bit of a theme in the edge condition, in that many of the parking areas have decorative fencing—metal picket fences between masonry piers. However, they are inconsistent in design, height, and pier material. In addition, the pickets are typically only 1cm in width, and are spaced about 10cm apart. As a result the fencing provides no effective visual screening of the “back-yard parking lot” aspect of the District as seen from Kingston Road. The intermittent planting along this edge consists of either deciduous trees - with canopies too high to provide screening - or shrubs that are too low.

The lack of consistency and the lack of visual screening on the Kingston Road edge does not make for an inviting introduction to the Village and does not serve as a unifying identifier. It may require co-ordination and co-operation between the Town, the BIA, and private owners, perhaps through the Community Improvement Plan, but it would be very beneficial to improve these aspects of the Kingston Road frontage. This is an opportunity for visual improvement, as well as a branding opportunity in support of economic development of the Village.

Suggested Guidelines:

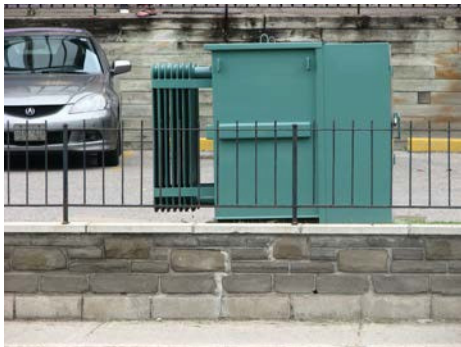
- Use a consistent and more effective fencing system. The Urban Square uses a more substantial metal picket fence than what is found elsewhere on the edge. It is higher, more elaborate, and with thicker pickets, and has sufficient “presence” to act as a more effective visual screen. It would be beneficial to use this pattern along the whole frontage, with gaps only for driveway entrances.

9.6 Streetscape Work

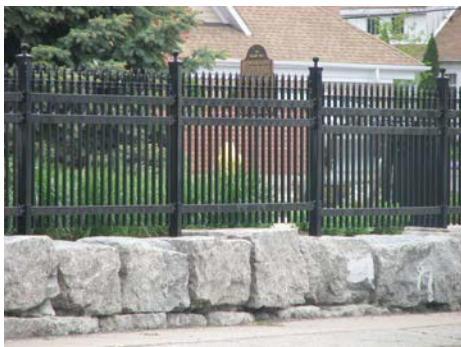
9.6.4 Area of Special Concern The District's Kingston Road Edge Cont'd

Suggested Guidelines:

- The visual presence of the fencing, and its visual quality could be enhanced by including small fence-hung planter boxes.
- Provide ground planting, where space is available, that is more effective as screening than what is currently in place. Use planters instead of ground planting where that is more appropriate. Use dense evergreen hedging of sufficient height to screen the parking lots, consistent with provision of safe sight-lines. Provide intermittent trees as visual softeners.
- Consider using the fence line for a sign or banner system that will identify the heritage treasure that lies behind.



The existing fencing is quite transparent, varies in design, and is generally low.



The fencing at the Urban Square is taller, and stronger visually. It is effective in creating a visual edge.



Conceptual sketch of Kingston Road Edge improvements.

9.7 Landscaping

9.7.1 Planting

No heritage permits are required for planting activities, but voluntary compliance with the guidelines in this Section can help maintain and enhance the natural heritage of the Pickering Village and its valley.

Suitable new planting and management of existing flora are a primary means of ensuring the health of the entire ecosystem: plants contribute to stormwater and groundwater management, erosion control, and provide habitat and nutrition for wild fauna.

Guidelines:

- Maintain health of mature indigenous tree by pruning and fertilizing.
- Over time, remove unhealthy, invasive and non-indigenous species.
- Site buildings and additions to preserve suitable mature trees.

Suitable indigenous species:

- Sugar Maple, Red Oak, Basswood, Silver Maple, Bitternut, Butternut, White Pine, Hemlock, American Elm, Red Maple, Bur Oak, White Spruce.

Suitable salt-tolerant indigenous species (for roadside planting):

- Little Leaf Linden, Serviceberry.

Unsuitable species:

- Manitoba Maple, Hawthorn, Black Locust, and Buckthorn tend to be invasive.
- Ornamental species, particularly Norway Maple cultivars, are extremely invasive.

9.7 Landscaping

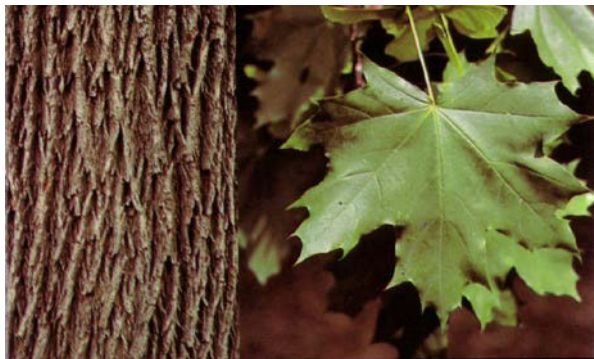
9.7.2 Warning! Invasive Plant Species



Of the roughly 2,600 identified vascular plant species that grow wild in Ontario, more than 25% are aliens or exotics not native to the province. These importations have been going on since Europeans first arrived, either as deliberate introductions or as stowaways in cargoes, ballasts, and debris. However and whenever they arrived, these species have found hospitable ecological niches. Once established they make use of the plant world's full array of propagation strategies. Without the pests and competitors of their native environments, many are able to out-compete native species, and may seriously threaten entire native ecosystems, replacing a host of native plants that together provided food and habitat for native wildlife. The Federation of Ontario Naturalists has more detailed information on invasive species and their control on their website.

Guidelines:

Avoid these invasive plant species:



Two prime invaders are Purple Loosestrife, above, and Norway Maple, below. Both have been popular for garden and street planting, and both have proven to be highly invasive. Images from Audubon Society Field Guides.

- Purple Loosestrife
- Norway Maple
- European Birch
- Highbush Cranberry
- European Mountain Ash
- Privet
- White Mulberry
- Horse Chestnut
- Scots Pine
- Crown Vetch
- Periwinkle
- Dame's Rocket
- Winter Cress
- Silver Poplar
- Siberian Elm
- Himalayan Balsam
- Russian Olive
- Sweet Woodruff

9.8 Building Materials Checklist

All construction visible from the exterior of the street or public spaces requires a Heritage Permit, unless exempted in Section 3.1.2. Some modern materials are suitable for use on heritage buildings. Staff will assess proposed modern materials on a case by case basis. Visible materials should conform to the following standards:

9.8.1 Heritage Buildings

Appropriate Materials:

- Exterior Finish: Smooth red clay face brick, with smooth buff clay face brick as accent.
Wood clapboard, 4" to the weather. Visually similar prefinished clapboard, such as HardiePlank.
Smooth, painted, wood board and batten siding.
- Exterior Detail: Cut stone or reconstituted stone for trim in brick buildings.
Wood shingles.
Painted wood porches, railings, decorative trim, shutters, fascias and soffits.
Painted wood gingerbread bargeboards and trim, where appropriate to the design.
Note: pressure treated wood may be used for porch surfaces (i.e. walking surfaces).
- Shopfronts: Wood frames, glazing bars, and panels with glazed wood doors are preferred.
Metal shopfronts, detailed and proportioned to be compatible with heritage shopfronts, are acceptable.
- Roofs: Hipped or gable roof as appropriate to the architectural style.
Cedar, slate, or simulated slate shingles.
Asphalt shingles of an appropriate colour—black and grey are preferred.
Skylights in the form of cupolas or monitors are acceptable, if appropriate to the style.
Flat or bubble skylights not visible from the street.
- Doors: Wood doors and frames, panel construction, may be glazed.
Transom windows and paired sidelights.
Wood French doors for porch entrances.
Single-bay wood panelled garage doors.
- Windows: Wood frames; double hung; lights (panes) as appropriate to the architectural style.
Real glazing bars, or high-quality simulated glazing bars. See Section 9.3.5.6.
Vertical proportion, ranging from 3:5 to 3:7.
- Flashings: Visible step flashings should be painted the colour of the wall.

9.8 Building Materials Checklist

9.8.1 Heritage Buildings

Inappropriate Materials

Exterior Finish:	Concrete block; calcite or concrete brick. Textured, clinker, or wire cut brick. Precast concrete panels or cast-in-place concrete. Prefabricated metal or plastic siding. Stone or ceramic tile facing. “Rustic” clapboard or “rustic” board and batten siding—finish should be smooth. Wood shake siding. Stucco.
Exterior Detail:	“Stock” suburban pre-manufactured shutters, railings, and trims. Unfinished pressure-treated railings and trim.
Shopfronts:	Standard metal shopfronts and pre-finished metal spandrel material. Frameless tempered glass shopfronts.
Roofs:	Slopes or layouts not suitable to the architectural style. Non-traditional metal roofing such as pre-finished or corrugated metal. Modern skylights, when facing the street.
Doors:	“Stock” suburban door assemblies. Flush doors. Sidelights on one side only. Aluminum storm and screen doors (visible from the street). Sliding patio doors (visible from the street). Double-bay, slab, or metal garage doors.

9.8 Building Materials Checklist

9.8.1 Heritage Buildings

Inappropriate Materials

- Windows: Large “picture” windows.
 Curtain wall systems.
 Metal, plastic, or fibreglass frames.
 Metal or plastic cladding.
 Awning, hopper, or sliding openers.
 “Snap-in” or tape simulated glazing bars.
- Flashings: Pre-finished metal in inappropriate colours.

9.8.2 Non-Heritage Buildings

Note: If using the Historical Conversion approach, described in Section 9.4.1.1, follow the Heritage Building Checklist, above.

Appropriate Materials

- Exterior Finish: Use materials compatible with the original design.
- Roofs: Slopes and layouts compatible with the original design.
- Doors: Use materials and designs compatible with the original design.
- Windows: Use windows compatible with the original design.

10.0 Sources

10.1 Documents Available for Guidance

The Ajax Archives has historic documents and photographs, which may be useful in renovations to heritage buildings. Books listed in Section 10.2 under the headings of Historic Architecture and Heritage Conservation are all useful.

Two very useful websites, containing detailed “how-to” information on heritage preservation and restoration are:

- The United States National Parks Service *Preservation Briefs* at:

<http://www.nps.gov/tps/how-to-preserve/briefs.htm>

- Parks Canada has similar guidelines at Standards:

<http://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>

There is abundance of architectural information at: www.ontarioarchitecture.com You can choose between “Building Styles” where Ontario’s styles are described and illustrated, and “Building Terms” which surpasses the glossary included here, with many more terms defined and photographic illustrations of all of the terms.

Links to these websites will be provided at the Pickering Village HCD website: www.pvhcdproject.com

10.2 Bibliography

HISTORIC ARCHITECTURE:

Arthur, Eric and Dudley Whitney. *The Barn*. Toronto: McClelland & Stewart, 1989

Environment Canada, Parks Service. *The Buildings of Canada*. Ottawa

Ashenburg, Katherine. *Going to Town: Architectural Walking Tours in Southern Ontario*. Toronto: Macfarlane Walter & Ross 1996

Baker, John Milnes. *American House Styles: A Concise Guide*. New York: W.W. Norton & Company, 2002

Hale, Jonathan. *The Old Way of Seeing: How Architecture Lost its Magic (and How to Get it Back)*. New York: Houghton Mifflin Company, 1994

Lever, Jill & John Harris. *Illustrated Dictionary of Architecture, 800-1914*. London: Faber & Faber, 1993

McRae, Marion and Adamson, Anthony. *The Ancestral Roof: Domestic Architecture of Upper Canada*. Toronto: Clarke Irwin & Company, 1963

Plumridge, Andrew and Wim Meulenkamp. *Brickwork, Architecture and Design*. New York: Harry N. Abrams, Inc. 1993

Rempel, John I. *Building with Wood: and other aspects of nineteenth-century building in Central Canada*. Toronto: University of Toronto Press, 1980

Walker, Lester. *American Shelter: An Illustrated Encyclopedia of the American Home*. Woodstock, N.Y.: The Overlook Press, 1981

10.0 Sources

HERITAGE CONSERVATION:

Fram, Mark. *Well Preserved, The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation*. Erin, Ontario: The Boston Mills Press, 1988

Fram, Mark and John Weiler, editors. *Continuity with Change, Planning for the Conservation of Man-made Heritage*. Toronto: Dundurn Press, 1984

Ontario Ministry of Culture, Tourism and Recreation. *Architectural Conservation Notes*.

Weaver, Martin E. *Conserving Buildings: A Guide to Techniques and Materials*. New York: John Wiley & Sons, Inc., 1993

PLANS AND STUDIES:

Carter, Phillip H. *Thornhill Vaughan Heritage Conservation District Study*. Vaughan: City of Vaughan, 1985

Carter, Phillip H. *Thornhill Markham Heritage Conservation District Study*. Markham: Town of Markham, 1986

Carter, Phillip H. *Collingwood Downtown Heritage Conservation District Study and Plan*. Collingwood: Town of Collingwood, 2002

Carter, Phillip H. *Kleinburg-Nashville Heritage Conservation District Study and Plan*. Vaughan: City of Vaughan, 2003

Carter, Phillip H. *Northeast Old Aurora Heritage Conservation District Study and Plan*. Aurora: Town of Aurora, 2006

Carter, Phillip H. *Heritage Review of Maple Village Streetscape and Urban Design Guidelines*, Vaughan: City of Vaughan, 2003

Hill, Nicholas, with Green Scheels Pidgeon Planning Consultants Ltd. *Blair Village, A Heritage Conservation District Plan in the City of Cambridge*. Cambridge: The Corporation of the City of Cambridge, 1999

The Jaeger Company. *Design Guidelines, Columbus Georgia*. Columbus: Board of Historic and Architectural Review, 2000

KM SCI Consultants, and Town of Ajax Planning Department *Pickering Village Streetscape and Urban Design Guidelines*, Ajax: Town of Ajax, 1996

Project Planning Limited, *Markham Village Heritage Conservation District Plan*. Markham: Town of Markham, 1997

Stokes, Peter John. *Walton Street Heritage Conservation District Plan*. Port Hope: Town of Port Hope, 1995

Town of Markham. *Unionville Heritage Conservation District Plan*. Markham: Town of Markham, 1997

10.0 Sources

OFFICIAL DOCUMENTS:

Ontario. *Ontario Heritage Act, RSO, 1980, chapter o.18, as amended*. Toronto: Queen's Printer for Ontario, 2005

Ontario. *Ontario Heritage Conservation District Guidelines*. Toronto: Queen's Printer for Ontario, 1985

Ontario. *Provincial Policy Statement*. Toronto: Queen's Printer for Ontario, 2005

Town of Ajax. *Official Plan By-law 43-2000, as amended*. Ajax: Town of Ajax, 2012

Town of Ajax. *Zoning By-law 95-2003, as amended*. Ajax: Town of Ajax, 2010

Town of Ajax. *By-law 27-2009 Sign By-law*. Ajax: Town of Ajax, 2009

Part E

Appendices

Appendix A: Glossary of Architectural Terms

Italicized words are defined in other entries.

Note you can find photographs of these, and many more terms at: www.ontarioarchitecture.com Click the “Building Terms Button” for an alphabetical list.

ABA rhythm: a pattern of alternating *bays*. Other rhythms might be ABBA, or AABBAA, for example.

Arcade: a running series of *arches*, supported on *piers* or *columns*.

Arch: a curved structure over an opening, supported by mutual lateral pressure.

Ashlar: Squared stone masonry laid in regular courses with fine joints.

Balustrade: A *parapet* or guard consisting of *balusters* supporting a rail or *coping*. The stair rail on the open side of a household stair is a common example of a balustrade.

Barge board: The board along the edge of a *gable* roof, often decorated or pierced in Victorian houses.

Battlement: A notched *parapet*, like on a castle. Also called *castellation*. The notches are called *embassures* or *crenelles*, and the raised parts are called *merlons*.

Bay: Divisions of a building marked by windows, *pilasters*, etc. An Ontario cottage with a centre door and windows on either side would be called a 3-bay house with an *ABA rhythm*.

Bay window: A group of windows projecting beyond a main wall. Commonly with angled sides in the Victorian style, and rectangular in Edwardian.

Bipartite: In two parts.

Blind: An imitation opening on a solid wall is called blind. Thus a blind *arch*, a blind window, a blind *arcade*.

Board-and-batten: Wood siding consisting of wide vertical boards, the joints of which are covered by narrow vertical strips, or battens.

Bond: A pattern of bricklaying in a wall. In solid brick construction headers are required to tie the *wythes* of the wall together. The rhythm of the headers determines the bond.

Bow window: Curved version of the *bay window*.

Buttress: A heavy vertical masonry element built against a wall to stabilize it.

Capital: See *Orders*.

Casement: A window hinged on one side, like a door.

Chevron: A decorative pattern of V shapes, like a sergeant’s stripes.

Classical: Of or deriving from the architecture of ancient Greece and Rome. Classical revival buildings typically feature *columns* and *pediments*, and are usually symmetrical in elevation.

Colonnade: A row of *columns* supporting an *entablature*.

Column: A vertical structural member. See *orders*.

Common Bond: The standard *bond* for solid brick walls, consisting of one *header* course for every five or six courses of *running bond*.

Coping: A protective capping on a wall, parapet or gable, sloped to carry off rain water.

Corbel: A support projecting from a wall. Masonry that steps out course-by-course from the wall below is called corbelling.

Cornice: The uppermost division of an *entablature*. Also a moulded projection that crowns an element such as a wall, door or window.

Cottage: A small rustic house, or a style that imitates one. “Ontario Cottage” is a catch-phrase for a variety of one and one and a half storey house styles, some of which are actually quite large.

Course: A horizontal row of construction laid one above the other. Bricks and shingles are said to be laid in courses.

Cresting: A vertical ornament running along the top of a wall or ridge. If a rooster were a building, his comb would be cresting.

Dentil: A series of small rectangular blocks arranged in row, usually under a *cornice*. From the Latin word for tooth.

Dog-tooth: A repeating decorative shape in the form of a four-lobed pyramid. Also, a brick laid so that a corner faces out from the surface of a wall.

Double-Hung: Type of window with vertically sliding sash one above the other, traditionally hung on ropes or chains from a counterbalance system concealed in the jambs. If only the lower sash is moveable it's called a single-hung window.

Eclectic: From a Greek word meaning selective. A rather vague name for late 19th and early 20th Century vernacular architecture which freely selected a bit of this and a bit of that from many previous styles. Elements of Classical, Victorian, and Italianate styles might be mixed together, for example. The term is often used disparagingly, but remarkably, the combinations are often skilful, and most eclectic buildings are quite handsome.

Entablature: In the classical *orders*, the horizontal element above a column. The meaning has been extended to include similar elements used over an opening or against a wall.

Fan-Light: A semi-circular transom window over a door or window, usually with radiating glazing bars, like the ribs of a fan.

Fascia: A long flat band, such as an eaves-board, a sign band over a shop window, or the undecorated strips in an architrave.

Fenestration: Windows: the pattern of windows in an elevation.

Finial: A decorative end, often in the form of a ball or spire. If it points down instead of up it can be called a pendant.

Gable: The roughly triangular wall at the end of a ridge roof. If the roof projects to or beyond the gable, it will take the shape of the roof structure. If the roof ends behind the wall, the gable may be freely shaped with steps, curves, or decorations.

Gambrel roof: A steeply sloped roof below a low sloped roof, creating a more usable attic. Also called barn-roof.

Georgian: An architectural style of 18th century origin, and often revived. Multi-Light *Double-hung* windows, symmetrical fronts, and modest use of *classical* ornament are hallmarks of the style. Both hipped and gable roofs were used. Evolved after the Great Fire in London, Georgian originally meant brick, but in revival the style has made use of wood and stucco siding as well.

Header: A brick laid so that its middling dimension is in the length of a wall, and its shortest dimension is vertical.

Hood mould: a thin projecting moulding over an opening, originally intended to throw off rainwater.

Impost: A block from which an arch springs.

Italianate: A late 19th Century style, based on Italian country houses, featuring towers, cupolas, low hipped roofs with elaborate brackets at the soffits, and a verticality emphasised by tall narrow windows with 1 over 1 or 2 over 2 *lights*.

Keystone: An elaborated element in the centre of an *arch*. Emphasis may be provided by a contrast in colour or material, by vertical extension, and/or by projection out from the wall. The idea is that the central block is “key” to the arch, which isn’t true: each block is equally necessary.

Leaded: Glazing where small panes are divided and held together by lead strips.

Light: A single pane of glass within a *sash*. *Double-hung* windows are often described by the number of lights in the upper and lower sashes, as in 1 over 1, 2 over 2, or 12 over 12.

Lintel: A horizontal element spanning over an opening in a wall.

Loyalist: Wide spread early Ontario house style, imported by the Loyalists in the late 18th Century. Generally speaking, a version of the *Georgian* style, though usually having a gable roof. The hallmark is a panelled front door topped by a rectangular multi-pane transom, with a classical surround and cornice. When executed in wood clapboard, it is nicknamed “Yankee House”, and is indistinguishable from New England houses, but it has been built in brick and stone.

Lozenge: A diamond shaped pattern element.

Lunette: A semicircular window or panel.

Mansard Roof: A steeply sloped roof below a low-sloped roof, creating a more usable attic. Variations used in various 19th century styles include concave, convex and ogee shapes on the lower slope. Unfortunately revived as about 1960 as a tacked-on sloping band, usually of cedar shakes, in the hope of giving “natural texture” to rather ordinary flat-roofed boxes.

Modillion: Blocks or brackets under a cornice, like *dentils* but bigger and spaced widely apart.

Niche: A recess in a wall or pier, suitable for placing a statue.

Oculus: A small round or oval window. From the Latin word for “eye”.

Ogee: A double curve, concave below and convex above; a common shape for mouldings, an uncommon one for windows and *arches*.

Order: One of the *classical* systems of designing *colonnades*, elaborated in great detail as to proportions and geometry by classical revivalists from 1420 onwards.

Oriel, Oriel window: A bay window projecting from an upper storey.

Palladian window: A large central window topped with a *lunette* or *fan-light*, closely flanked by smaller flat-headed windows, the whole assembly surrounded by classically-inspired details.

Parapet: Originally a low wall protecting an edge with a drop, like at the side of a bridge or balcony. Also used to describe the extension of a wall above a roof, even when no one ordinarily walks there.

Pediment: In Classical architecture, the low-sloped triangular *gable* end above an *entablature*, enclosed on all sides by mouldings. The term, and its basic form has been borrowed by many styles for use above porticos, doors and windows. A segmental pediment substitutes a curved top for the original angled one, and the surrounding mouldings may be gapped in the centre, whatever the shape. A broken bed pediment has a gap in the bottom moulding, and a broken topped pediment has a gap at the top.

Pendant: A point ornament hanging down.

Pier: A large solid support for a beam, *lintel* or *arch*.

Pilaster: A vertical thickening of a wall, something like a *pier* or *column* built integrally with the wall. Sometimes used for structural purposes, sometimes purely decorative, it may be embellished with a base and capital on the model of the classical *orders*.

Plinth: The lowest projecting part of the base of a *column*. Extended to mean any projecting base on elements such as baseboards, door frames, etc.

Pointed arch: An arch composed of two curves centred on the *springline*, whose radius is equal to the width of the opening.

Polychrome: Having many colours. Victorian red and buff brickwork is an example of polychromy.

Quoin: Alternating blocks at the corner of intersecting walls. May be expressed with contrasting material or colour. May be flush with the walls or project from it. From the French word for a “corner”.

Round arch: A semicircular arch.

Rowlock: A brick laid so that its shortest dimension is in the length of a wall, and its middling dimension is vertical.

Running Bond: See *Bond*. Pattern of brickwork where all bricks are stretchers, and vertical joints lie at the midpoint of the brick below. It's now standard practice to use running bond exclusively, since brick veneer construction doesn't require headers to tie a wall together. The resulting loss of texture is an example of technology's inadvertent trend towards blandness.

Rusticated: Squared stone masonry laid in regular courses, but with the courses or the individual stones emphasized by deep joints and/or high relief in the surface treatment.

Sash: Framework holding the glass in a window.

Segmental arch: An arch composed of a single curve, centred below the *springline* on the centreline of the opening. Normally quite shallow.

Sign fascia: A broad flat band above a shopfront, intended for signage.

Signband: See *Sign fascia*.

Soffit: The underside of an architectural element, such as a *lintel*, *cornice*, balcony or *arch*.

Soldier: A brick laid so that its short dimension is in the length of a wall, and its long dimension is vertical.

Spandrel: The space between *arches* in an *arcade*, above the springline and below the top of the arches. Also a solid panel in a bay separating one opening from another above it.

Springline: the horizontal line from which an arch rises.

Stacked bond: See *Bond*. Pattern of brickwork where all vertical joints are one above the other. Usually executed with *stretchers*, less commonly with *headers*. Used in some modernist buildings.

Stretcher: A brick laid so that its long dimension is in the length of a wall, and its short dimension is vertical.

String course: A thin band of masonry projecting or recessed from the plane of the wall giving the effect of a moulding.

Three-centred arch: An arch composed of three curves: a central *segmental* one of large radius, joined to two smaller flanking curves centred on the *springline*.

Transom: A horizontal member dividing an opening. Also used as short form for *transom window*.

Transom window: A window above a *transom*, most commonly over a door.

Tripartite: Having three parts.

Tympanum: The panel between the mouldings of a *pediment*.

Verandah: An large open gallery or porch, running along one of more sides of a building.

Vousoir: One of the blocks forming an arch.

Water table: Projecting masonry course near the bottom of a wall, intended to throw rain water away from the foundations.

Wythe: A vertical plane of masonry. A wall two bricks thick has an inner wythe and an outer wythe, tied together with *headers*.